



CITY OF MISSOURI CITY
PLANNING AND ZONING COMMISSION AGENDA

Notice is hereby given of a meeting of the Planning and Zoning Commission of the City of Missouri City to be held on **August 8, 2018 at 7:00 p.m. at: City Hall, Council Chambers, 2nd Floor**, 1522 Texas Parkway, Missouri City, Texas, for the purpose of considering the following agenda items. All agenda items are subject to action. The Planning and Zoning Commission reserves the right to meet in a closed session on any agenda item should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

1. CALL TO ORDER

2. ROLL CALL

3. READING OF MINUTES

Consider approval of the minutes of the July 11, 2018 Planning & Zoning Commission meeting.

4. REPORTS

A. COMMISSION REPORTS

- (1) Chairman of the Planning and Zoning Commission
- (2) Planning and Zoning Commissioners

B. STAFF REPORTS

- (1) Development Services
 - a. Director
- (2) Engineering
 - a. Assistant City Engineer

5. PUBLIC COMMENT

This is an opportunity for the public to address the Planning and Zoning Commission on items/concerns not on the agenda. Public comments shall be limited to three (3) minutes per individual and to ten (10) minutes per subject. Public comments may address items that are not on the agenda.

6. PLATS

A. CONSENT AGENDA

- (1) Consider approval of a preliminary plat for 5th Street at Independence
- (2) Consider approval of a final plat for Avalon at Sienna Plantation Section 5
- (3) Consider approval of a final plat for Sienna Plantation Section 14

7. ZONING MAP AMENDMENTS

A. PUBLIC HEARING FOR A SPECIFIC USE PERMIT AMENDMENT

- (1) To receive comments for or against a request by Dean King, Executive Pastor, River Pointe Community Church, to amend the standards and regulations contained in ordinance O-15-62, pertaining to SUP, Specific Use Permit #197, to allow for the development of a fellowship pavilion and to the extent such rezoning deviates from the Future Land Use and Character map of the Comprehensive Plan, to provide for an amendment therefrom.
- (2) Consideration of the approval of a final report to City Council on item 7A(1) above

B. PUBLIC HEARING FOR A PLANNED DEVELOPMENT DISTRICT AMENDMENT

- (1) To receive comments for or against a request by Stan winter, Jones | Carter, to amend the regulations and restrictions of PD, Planned Development District No. 88 pertaining to fence regulations for the Dry Creek Village residential subdivision; and to the extent such rezoning deviates from the Future Land Use and Character map of the Comprehensive Plan, to provide for an amendment therefrom.
- (2) Consideration of the approval of a final report to City Council on item 7B(1) above

8. ZONING TEXT AMENDMENTS

None

9. OTHER MATTERS WITHIN THE JURISDICTION OF THE COMMISSION OR THE CAPITAL IMPROVEMENTS ADVISORY COMMITTEE

None.

10. CLOSED EXECUTIVE SESSION

The Planning and Zoning Commission may go into Executive Session regarding any item posted on the Agenda as authorized by Chapter 551 of the Texas Government Code.

11. RECONVENE

Reconvene into Regular Session and Consider Action, if any, on items discussed in Executive Session.

12. ADJOURN

In compliance with the Americans with Disabilities Act, the City of Missouri City will provide reasonable accommodations for persons attending Planning and Zoning Commission meetings. To better serve you, requests should be received 24 hours prior to the meetings. Please contact the Development Services Department at 281-403-8541.

CERTIFICATION

Planning & Zoning Commission

August 8, 2018

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I certify that a copy of the August 8, 2018, agenda of items to be considered by the Missouri City Planning and Zoning Commission was posted on the City Hall bulletin board on August 3, 2018.

A handwritten signature in black ink, appearing to read "Egima Brown", is written over a horizontal line.

Egima Brown
Planning Technician



**PLANNING AND ZONING COMMISSION
STAFF REPORT**

AGENDA DATE: August 8, 2018

AGENDA ITEM SUBJECT: Preliminary Plat of 5th St. at Independence

AGENDA ITEM NUMBER: 6.A.1.

PROJECT PLANNER: Thomas K. White Jr., Planner II

APPROVAL:  Otis T. Spriggs, AICP, Director, Development Services
Shashi K. Kumar, P.E., CFM, City Engineer/Public Works Director

PERMIT NUMBER: PLAT1800056

PROPERTY ID: 0064-00-000-2800-907

LOCATION: 5th St. / Independence Boulevard

ZONING DISTRICT DESIGNATION: LC-3, retail district

DEVELOPMENT AGREEMENT/STRATEGIC PARTNERSHIP: N/A

RECOMMENDED ACTION:

The Planning and Zoning Commission should grant approval of this **Preliminary Plat** conditioned on addressing the following deficiencies.

All conditions placed on this application as a result of the Commission's approval must be met at **least one (1) week** prior to submittal of the final plat application.

A preliminary plat application must be in the form and contain the information and documents as required by the Administrative Platting Manual of the City of Missouri City, as adopted in June 2014 and in accordance with Section 82-65 of the Code of Ordinances of the City of Missouri City. The applicable sections of the Administrative Platting Manual are referenced in the comments below, except where indicated otherwise.

A. PROCEDURAL AND/OR SUBSTANTIVE DEFICIENCIES:

1. **RESPONSIBLE DEPARTMENT/DIVISION:** Development Services/Planning and Development Division
 - a. The legal description of the property, including the name of the county and the survey abstract number, shall be indicated in accordance with Section 2.D(2).
 - b. Please remove "Reason for Replat".
 - c. The vicinity map must show sufficient detail to a distance of not less than one-half mile. The suggested scale of the vicinity map is one inch equals 1,200 feet. The vicinity map shall be oriented north at the top of the drawing and in the same direction as the subdivision drawing in accordance with Section 2.D(9). **Please show the city boundaries as well as boundaries of any municipal utility districts.**
 - d. The adjacent area outside the plat boundaries shall be identified by subdivision name or by the recorded owner of unsubdivided parcels in accordance with Section 2.D(11). **Please show and identify areas within 200 feet of the subject plat.**
 - e. The **boundaries of political subdivisions and school districts** within or adjacent to the subdivision for a distance of not less than 200 feet must be indicated in accordance with Section 2.D(12). **Please show city boundaries as well as boundaries of any municipal utility districts within 200 feet of the subject plat.**
 - f. Building lines shall be labeled in accordance with Section 2.D(17). **Please revise building lines to be consistent with the LC-3, retail district.**
 - g. Please remove all signatory blocks from the preliminary plat.
 - h. Please remove the District Boundaries table which references various entities including entities having no jurisdiction over the subject plat.

2. **RESPONSIBLE DEPARTMENT/DIVISION:** Public Works/Engineering Division
 - a. The point of beginning (POB) for the subdivision shall be expressed as Texas State Plane NAD83 grid coordinate values of "X", "Y" as required by the City of Missouri City Design Manual, Section 2.10(G).
 - b. Prior to final plat approval, a letter shall be provided from the Ft. Bend County Drainage District stating that the tract has outfall drainage and all applicable fees have been paid.
 - c. Provide a letter from the MUD district stating that there is capacity for water and sanitary.

- d. Please provide minimum slab elevation as indicated in plat note #9.
- e. The benchmark is to be a primary benchmark from the City of Missouri City benchmark system in accordance with Chapter 2.12.A, Public Infrastructure Design Manual.
- f. Please provide offsite storm sewer calculations to verify existing storm system has capacity.
- g. Cross access to neighboring lots must be provided. Cross access must be adjacent to or as close to the street frontage as possible. Easements for cross access must be included on the plat.
- h. Areas designated for drainage detention require reserves. Reserves are to be designated as restricted use for drainage only.
- i. Note that the approval of this plat does not approve driveway locations. Driveways do not meet the requirements of Chapter 8, Public Infrastructure Design Manual standards.

3. **RESPONSIBLE DEPARTMENT/DIVISION:** Public Works/GIS Division

- a. Please provide a DWG of the plat.

B. STANDARD PLAT NOTES:

The following plat notes must be included on the face of a preliminary plat:

- 1. **RESPONSIBLE DEPARTMENT/DIVISION:** Development Services/Planning and Development Division
 - a. The following note shall be added to the plat as requested by Ft. Bend County: "All of the property subdivided in the above and foregoing plat is within the incorporated boundaries of the City of Missouri City, Texas."
 - b. Shared access and parking facilities shall be provided as required under the provisions of Subsection 82-159 of the Code of Ordinances of the City of Missouri City.
 - c. In accordance with Center Point Energy Electrical Service Manual, Article 421.2, electric meters shall be located in a position that is accessible at all times without customer assistance. Access to the meter shall not be blocked by gates, walls or fences.
 - d. Please revise plat note #15 to state: Sidewalks shall be constructed as required by Subsection 82-164 of the Code of Ordinances of the City of Missouri City, Texas.

- f. All slab elevations shall be one foot above the 100-year flood elevation as established by FEMA as per Section 3.C.(11) of the Administrative Platting Manual of the City of Missouri City (June 2014).

-----**END OF REPORT**-----



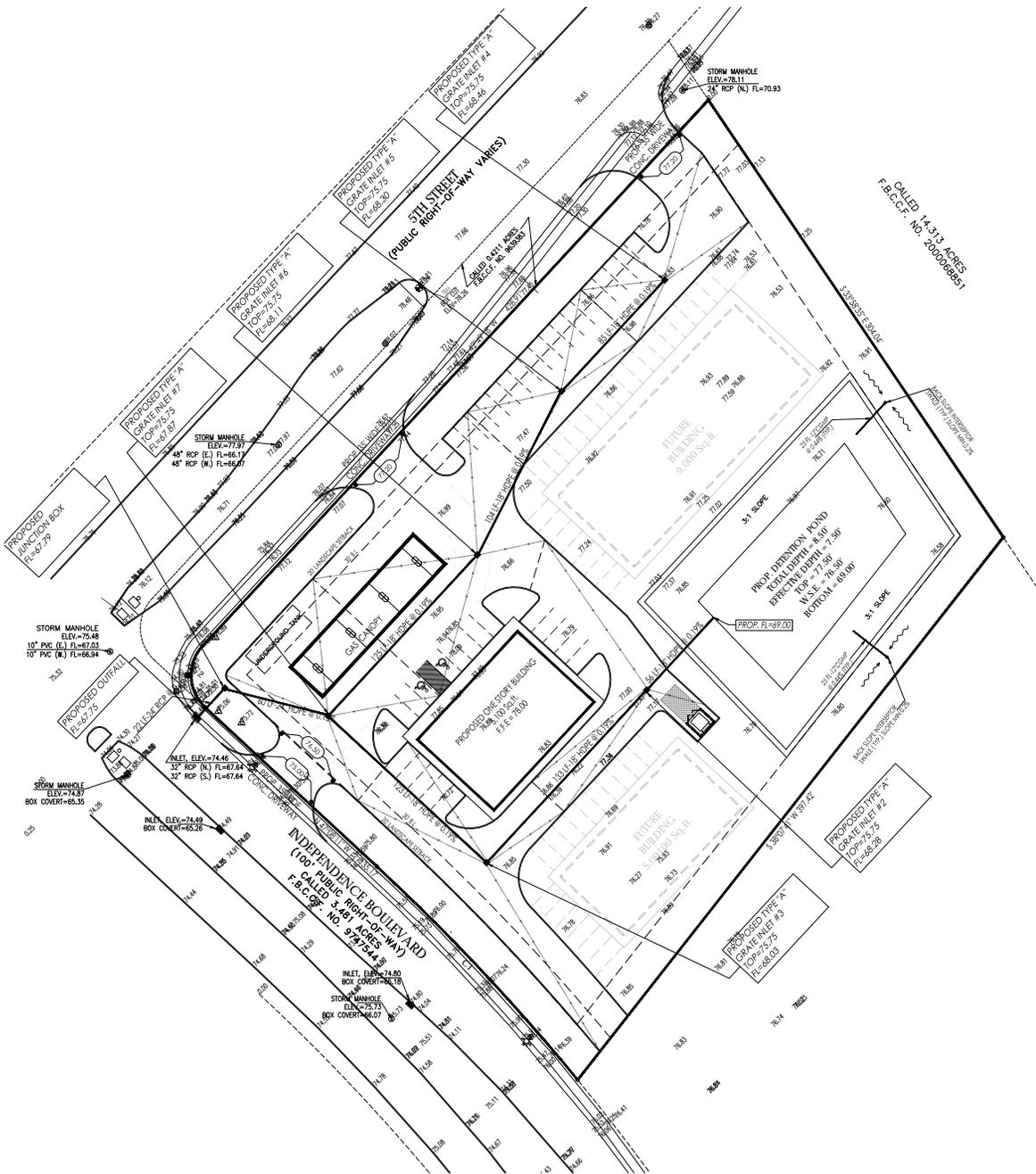
DEVELOPMENT SERVICES DEPARTMENT
Planning & Development Division
 1522 Texas Parkway
 Missouri City, Texas 77489
 281-403-8600 (Office) ■ 281-208-5551 (Fax)
 www.missouricitytx.gov

APPLICATION FOR PLAT APPROVAL

Check One: [] **CONCEPTUAL PLAN** [✓] **PRELIMINARY**
 [] **REVISED CONCEPTUAL PLAN** [] **REVISED PRELIMINARY**

Date of Application:

1. Name of plat:	5th street AT Independence		
2. Name of conceptual plan that encompasses this plat (if applicable):			
3. Type of use (Circle one or more):	Multifamily Residential	<u>Commercial</u>	Industrial Planned Development
	Single Family Residential	Specific Use Permit	
	Other (Explain):		
4. Landowner's name (If company or corporation, list chief officer):	Blossom Development, Inc		
Mailing Address:	5606 Jenolan Ridge Lane Sugarland Texas 77479		
Phone No.:	(713) 391-0791		
Email:	Riyaz-7@yahoo.com		
5. Applicant's name (Engineer, Planner, Architect, Etc.):	Dana Caldwell & Jason Barringer - South Texas Survey		
Mailing Address:	11281 Richmond Ave Houston TX 77082		
Phone No.:	(281) 550-6918		
Email:	Dana@STsurvey.com - Jason@STsurvey.com		
6. Is plat located inside the City limits or City's ETJ? (Circle One):	<u>CITY LIMITS</u>	ETJ	
7. Is plat located inside the City's ETJ? (Circle One):	YES	<u>NO</u>	
8. Total acreage:	3.0		
9. Estimated # of Sections:	Blocks:	Reserves: <u>1</u>	
10. Estimated # of residential lots/dwelling units:	<u> </u>		
11. Land distribution (in acres) - Must total acreage indicated in Line 8 above:			
Private Streets:	Public Streets:	Residential Lots:	
Lakes/Ponds (non-recreational):	Irrigation/Drainage Canals:	Recreational Uses:	
Utility Easements:	Public Parkland:		
Other (explain):	<u>Commercial Reserve</u>		(acres): <u>3.0</u>
12. Residential lot dimensions:	Average:	Smallest:	
13. Lot area:	Non cul-de-sac:	Cul-de-sac:	
14. Front width (At property line):	Non cul-de-sac:	Cul-de-sac:	
15. Front width (At building line):	Non cul-de-sac:	Cul-de-sac:	
16. Depth:	Non cul-de-sac:	Cul-de-sac:	
17. Block Length:	Average:	Longest:	Shortest:
18. Type of Streets (Circle One):	Public	Private	Combination Public/Private
19. Type of Water System (Circle One):	Public	Individual Water Wells	Other (attach explanation)
20. Type of Sanitary System (Circle One):	Public	Individual Septic Tanks	Other (attach explanation)
21. Municipal Utility District:			



LEGEND

EXISTING ELEVATION

PROPOSED ELEVATION

SWALE LINES

HIGH POINT

INLET TYPE & FLOW ELEVATION

PROPOSED GRATE INLET
24"x24" UNLESS SPECIFIED

FLOOD PLAIN INFORMATION

SUBJECT PROPERTY IS LOCATED IN A FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD HAZARD AREA AND IS IN ZONE "X".
 MAP # 48157C, PANEL 0285L, DATED 04-02-14
 FROM SURVEY PREPARED BY "SOUTH TEXAS SURVEYING ASS. INC."
 DATED: JUNE 21, 2018

BENCHMARK INFORMATION

NGS MONUMENT FID NO. AW2123

A BENCH MARK DEK STAMMING H805 1943 AT THE JUNCTION OF NORTH MAIN STREET AND STAFFORD ROAD, TRAVEL SOUTHWEST 2.0 FEET OF THE NORTH CORNER OF THE BUILDING ABOUT 3 1/2 FEET HIGHER THAN THE STREET. MONUMENT IS 3.5 FEET ABOVE THE GROUND.

ELEV. = 82.29 FEET. NAVD 88. 2001 ADJUSTMENT ELEVATIONS SHOWN ARE 2001 ADJUSTMENT.

CONTRACTOR NOTE

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND/OR UNUSUAL CONDITIONS NOT SHOWN OR ANTICIPATED TO THE OWNERS REPRESENTATIVE PRIOR TO FINALIZING BIDS AND COMMENCEMENT OF ANY CONSTRUCTION.

ALL WORK SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL ORDINANCES AND REGULATIONS.

THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE JOB SITE CONDITIONS. OMISSION OF SPECIFIC DETAILS, DATE OR DRAWINGS SHALL NOT RELIEVE CONTRACTOR OF ANY RESPONSIBILITIES FOR A COMPLETE WORKING PROJECT AND SYSTEMS. THE CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH THE CONSTRUCTION REQUIREMENTS AND DETAILS BEFORE SUBMITTING HIS BID. AS NO ALLOWANCES WILL BE ALLOWED BECAUSE OF THE CONTRACTOR'S UNFAMILIARITY WITH THE JOB SITE CONDITIONS AND PROJECT REQUIREMENTS.

ANY AND ALL STRUCTURAL FILL MATERIAL ON SITE MUST BE COMPACTED IN 8" LIFTS, TO 95% STANDARD PROCTOR DENSITY TEST.

ALL THE DOWNSPOUTS AND ALL THE FLOOR DRAINS FROM POOL AREA SHOULD BE CONNECTED TO NEAREST STORM SEWER LINE.

ROOF DRAIN NOTE

CONTRACTOR TO PROVIDE CONCRETE SPLASH BLOCK FOR EACH ROOF DRAIN NOT CONNECTED DIRECTLY TO STORM SEWER PIPING

GENERAL NOTE

-REFER TO SHEET C-2.2 FOR CALCULATIONS

CURVE TABLE

LC#	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD DISTANCE
C-1	1250.00'	7°44'29"	168.89'	N 43°15'57" W	168.76'
C-2	25.00'	89°57'29"	39.25'	S 02°02'27" E	35.34'

440 Cobla Drive
 Suite #1503
 Katy, TX 77454
 Ph: 832-213-1888
 info@ctggroup.com
 www.ctggroup.com
 T.B.P.E. FIRM # 15775

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No.	DATE	REVISIONS

PROJECT TITLE

PROPOSED C-STORE LOCATED AT 3443 5th STREET STAFFORD, TX 77477

SEAL

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW ONLY UNDER THE AUTHORITY OF MADHAVI TALLURI, P.E. #113329 (NOT for regulatory approval, permitting and/or construction)

DATE: 7/16/2018

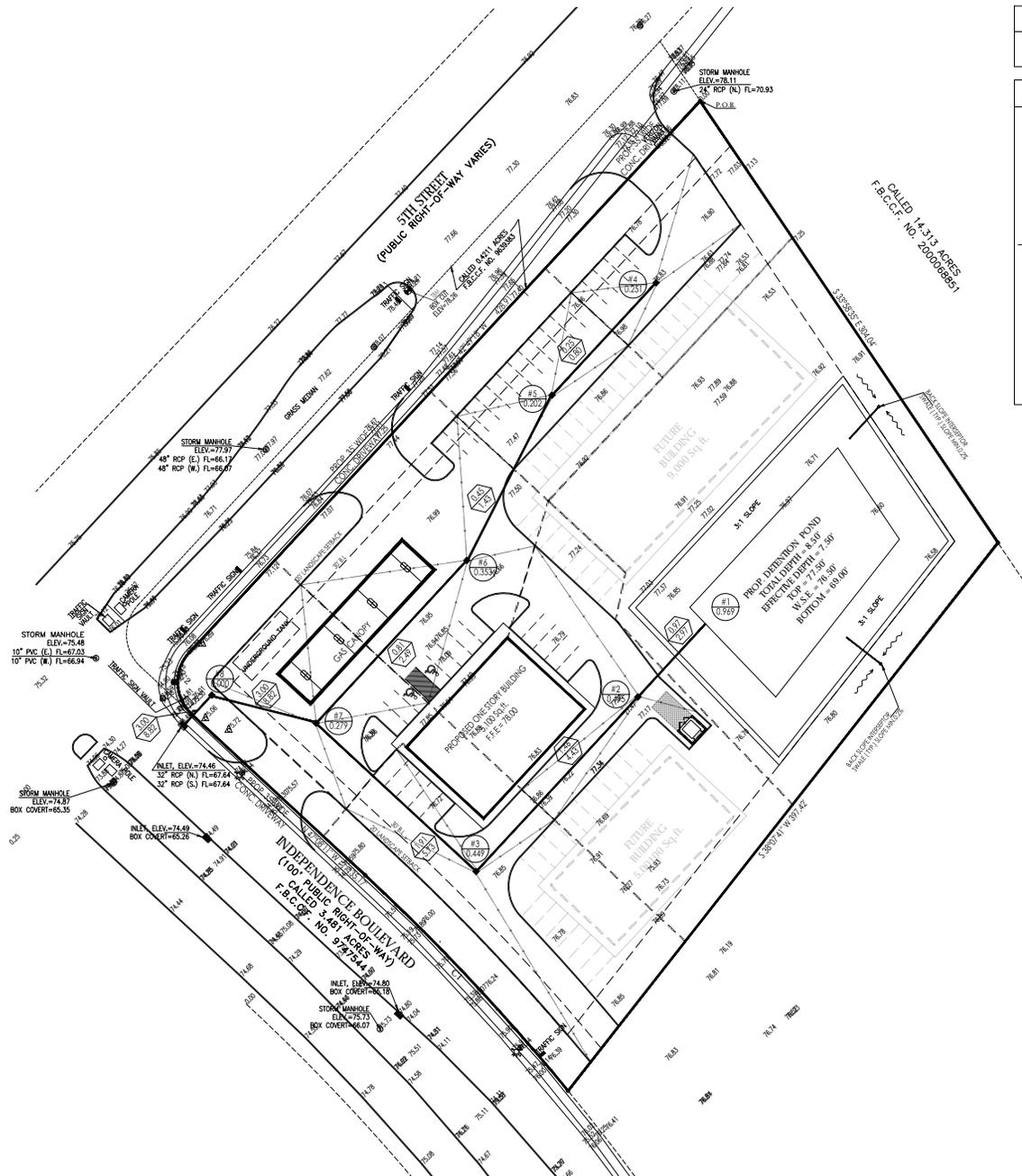
GENERAL NOTES:

CTG Project Number: 18-000
 Drawn By: S.K.
 Checked By: E.M.
 Scale: 1" = 20'

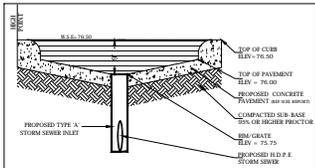
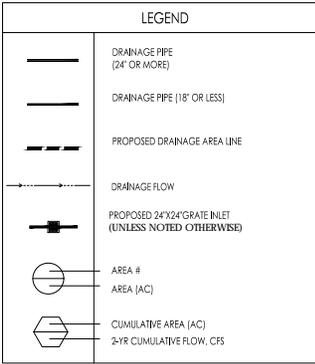
File Path:
 C:\Users\jgall@ctg.com\OneDrive\Documents\18-000\18-000.ctb

SHEET TITLE:
SITE GRADING PLAN

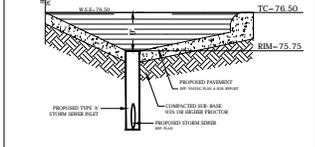
SHEET NUMBER:
C-2.0.



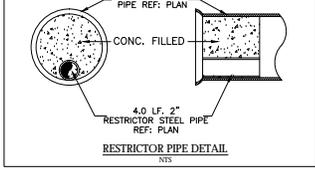
GENERAL NOTE
PLEASE REFER TO SHEET C-2.2 FOR CALCULATIONS



STORAGE SECTION IN PARKING
PARKING SHEET AREA 1, 2, 3, 4 & 5
NOT TO SCALE

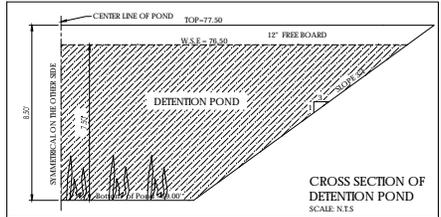


STORAGE SECTION IN PARKING
PARKING SHEET AREA 1, 2, 3, 4 & 5
NOT TO SCALE



CURVE TABLE

C#	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	1250.00	7°44'29"	168.89'	N 43°15'57" W	168.76'
C2	25.00	89°57'29"	39.25'	S 02°09'27" E	35.34'



CROSS SECTION OF DETENTION POND
SCALE: N.E.S.

440 Cobla Drive
Suite #1503
Katy, TX 77454
Ph: 832-913-1888
info@ctggroup.com
www.ctggroup.com
T.B.P.E. FIRM # 15775

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No.	DATE	REVISIONS

PROJECT TITLE

**PROPOSED C-STORE
LOCATED AT
3443 5th STREET
STAFFORD, TX 77477**

SEAL

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DATE: 7/16/2018

GENERAL NOTES:

CTG Project Number: 18-000
Drawn By: S.K.
Checked By: E.S.
Scale: 1" = 20'
File Path: C:\Users\sk\OneDrive\Documents\18-000\18-000-01-11-18-000.dwg
Date: 7/16/2018 10:21:11 AM

SHEET TITLE
SITE DRAINAGE PLAN

SHEET NUMBER:
C-2.1



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No.	DATE	REVISIONS

PROJECT TITLE

**PROPOSED C-STORE
 LOCATED AT
 --- 5TH STREET
 MISSOURI CITY, TX 77477**

SEAL

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DATE: 5/9/2018

GENERAL NOTES:

CTG Project Number: 18-XXX

Drawn By: SK

Checked By: TM

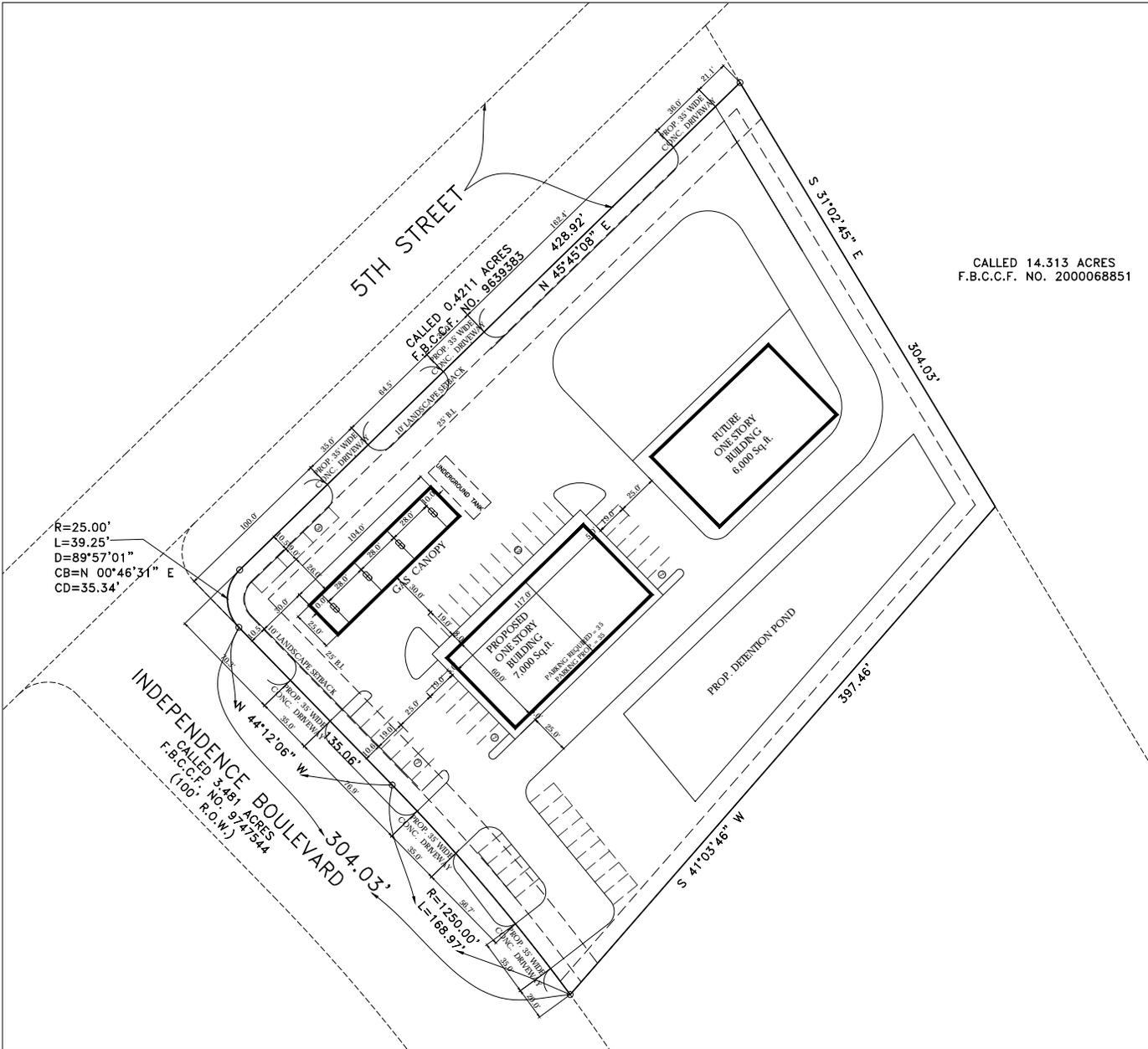
Scale: 1" = 30'

File Path:

SHEET TITLE:
**CONCEPTUAL
 SITE PLAN**

SHEET NUMBER:

C-0.0



CALLED 14.313 ACRES
 F.B.C.C.F. NO. 2000068851

R=25.00'
 L=39.25'
 D=89°57'01"
 CB=N 00°46'31" E
 CD=35.34'

INDEPENDENCE BOULEVARD
 CALLED 3.481 ACRES
 F.B.C.C.F. NO. 9747544
 (100' R.O.W.)

5TH STREET
 CALLED 0.4211 ACRES
 F.B.C.C.F. NO. 9639583

PROP DETENTION POND

S 41°03'46" W

S 31°02'45" E

304.03'

597.46'

109.4'

N 43°45'08" E

FUTURE ONE STORY BUILDING 6,000 Sq Ft

PROPOSED ONE STORY BUILDING 7,000 Sq Ft

PARKING REQUIRED 100-120 SPACES

CLASS CANOPY

PROP 36" WATER CONC. DRAINAGE

PROP 18" WATER CONC. DRAINAGE

PROP 36" WATER CONC. DRAINAGE

PROP 18" WATER CONC. DRAINAGE

PROP 36" WATER CONC. DRAINAGE

PROP 18" WATER CONC. DRAINAGE



**PLANNING AND ZONING COMMISSION
STAFF REPORT**

AGENDA DATE: August 8, 2018
AGENDA ITEM SUBJECT: Final Plat of Avalon at Sienna Plantation Section 5
AGENDA ITEM NUMBER: 6.A.2.
PROJECT PLANNER: **Jennifer Thomas Gomez, AICP,**
Planning Manager
APPROVAL:  **Otis T. Spriggs, AICP,** Director, Development
Services
Shashi K. Kumar, P.E., CFM, City Engineer/Public
Works Director

PERMIT NUMBER: PLAT1800054
PROPERTY ID: 0086-00-000-5501-907
LOCATION: Watts Plantation and Sienna Parkway
ZONING DISTRICT DESIGNATION: ETJ, Extraterritorial Jurisdiction
DEVELOPMENT AGREEMENT/STRATEGIC PARTNERSHIP: The subject site is located within Tract D of Sienna North which is governed by the provisions of the 9th amendment to the Sienna Plantation Joint Development Agreement (SPJDA).

RECOMMENDED ACTION:

The Planning and Zoning Commission should grant approval of this **Final Plat** conditioned on addressing the following deficiencies.

All conditions placed on this application as a result of the Commission's approval must be approved by the Development Services Department before recordation of the final plat.

Copies of recorded plats for subdivisions are required to be submitted in electronic, mylar, and paper formats.

A final plat application must be in the form and contain the information and documents as required by the Administrative Platting Manual of the City of Missouri City, as adopted in June 2014 and in accordance with Section 82-95 of the Code of Ordinances of the City of Missouri City. The applicable sections of the Administrative Platting Manual are referenced in the comments below, except where indicated otherwise.

A. PROCEDURAL AND/OR SUBSTANTIVE DEFICIENCIES:

1. **RESPONSIBLE DEPARTMENT/DIVISION:** Development Services/Planning and Development Division
 - a. All conditions placed on the approval of the Conceptual Plan must be approved or information provided as requested.
 - b. The acreage contained in the submitted City Planning Letter is less than the total acreage of the plat. **Please clarify and provide a letter for the remaining acreage and/or a title that includes all acreage.**
 - c. A final draft of restrictive covenants (if any) ready for filing must be provided in accordance with Section 3.C(7). **Please provide just the annexation documents for this section and not the entire recorded master restrictions.**
 - d. The Execution of owner's acknowledgement must be made a part of the final plat drawing in accordance with Section 3.C(8)(b).
 - e. The Lienholder's acknowledgement and subordination statement must be made a part of the final plat drawing in accordance with Section 3.C(8)(c).
2. **RESPONSIBLE DEPARTMENT/DIVISION:** Public Works/Engineering Division
 - a. All conditions placed on the approval of the Preliminary Plat must be approved or information provided as requested.
3. **RESPONSIBLE DEPARTMENT/DIVISION:** Public Works/GIS Division
None.

B. STANDARD PLAT NOTES:

The following plat notes must be included on the face of a final plat:

1. **RESPONSIBLE DEPARTMENT/DIVISION:** Development Services/Planning and Development Division
None.
2. **RESPONSIBLE DEPARTMENT/DIVISION:** Public Works/Engineering Division
None.

-----END OF REPORT-----

STATE OF TEXAS
COUNTY OF BENT

WE, TAYLOR MORRISON OF TEXAS, INC., A TEXAS CORPORATION, ACTING BY AND THROUGH THE BOARD OF DIRECTORS AND SENIORS OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, INC., A TEXAS CORPORATION AND SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, ACTING BY AND THROUGH KEN BECKMAN, PRESIDENT OF SAID DISTRICT, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE 16,368 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING PLAT OF THE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT AND ESTABLISHING PERMITS AND RIGHTS OF ROADS HAS SUCH PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS AND NOTATIONS THEREON AND HEAVEN OF THE PUBLIC FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND DO NOT SHOW THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED; AND DO NOT SHOW THEREON ANY RIGHTS AND ASSIGNMENTS AND/OR INTERESTS AND/OR RIGHTS BEYOND THE TITLE TO THE LAND SO DEDICATED.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXEMPTIONS MADE HEREIN ARE SUBORDINATE TO THE RIGHTS OF SUBDIVISION FROM THE PUBLIC RECORDS OF THE COUNTY OF BENT IN ORDER THAT THE DEVELOPMENT WILL COMPLY WITH THE PRESENT AND FUTURE GROWTH OF THE CITY OF MISSOURI CITY. WE OUR SUCCESSORS AND ASSIGNEES HEREBY MAKE ANY CLAIM, DEMAND OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OR EXEMPTIONS MADE HEREIN SUBORDINATE TO THE RIGHTS OF SUBDIVISION FROM THE PUBLIC RECORDS OF THE COUNTY OF BENT.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER UNRESTRICTED AERIAL EASEMENTS, THE PERMITS AND RIGHTS OF ROADS, INCLUDING PERMITS AND RIGHTS OF ROADS, TO THE PERMETER GROUND EASEMENTS OR SEVEN FEET (7') SIX INCHES (11'6") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7') SIX INCHES (11'6") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7') SIX INCHES (11'6") PERMETER GROUND EASEMENTS, FROM A PLANE STRIKE FEET (16'0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (L, E, AND A), AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENTS TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER UNRESTRICTED AERIAL EASEMENTS, THE PERMITS AND RIGHTS OF ROADS, INCLUDING PERMITS AND RIGHTS OF ROADS, TO THE PERMETER GROUND EASEMENTS OR SEVEN FEET (7') SIX INCHES (11'6") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7') SIX INCHES (11'6") PERMETER GROUND EASEMENTS, FROM A PLANE STRIKE FEET (16'0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (L, E, AND A), AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENTS TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, WE DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE INTENDED FOR THE CONSTRUCTION OF SINGLE FAMILY RESIDENTIAL DWELLING UNITS HEREON AND SHALL BE RESTRICTED FOR SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY.

FURTHER, WE DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS SUBDIVISION SHALL BE RESTRICTED TO THE CONSTRUCTION OF SINGLE FAMILY TANKS INTO ANY PUBLIC OR PRIVATE STREET, ROAD OR ALLEY OR ANY DRAINAGE DITCH, EITHER DIRECTLY OR INDIRECTLY.

FURTHER, WE DO HEREBY DECLARE TO THE PUBLIC A STRIP OF LAND TWENTY (20) FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL BAYOUS, CREEKS, OULLES, RAVINES, DITCHES AND DRAINAGE DITCHES LOCATED IN SAID SUBDIVISION, AS EASEMENTS FOR DRAINAGE PURPOSES, FORT BENT COUNTY OR ANY OTHER GOVERNMENTAL AGENCY SHALL HAVE THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSES OF CONSTRUCTION AND MAINTENANCE OF DRAINAGE FACILITIES AND STRUCTURES.

FURTHER, WE DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS SUBDIVISION AND ADJACENT TO ANY DRAINAGE EASEMENT, DITCH, CREEK, OULLE OR NATURAL DRAINAGE WAY SHALL HEREBY BE RESTRICTED TO KEEP SUCH DRAINAGE EASEMENTS AND EASEMENTS CLEAR OF FENCES, BOLLARDS, EXCESSIVE VEGETATION AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE DRAINAGE FACILITY AND THAT SUCH ADJACENT PROPERTY SHALL NOT BE PERMITTED TO DRAIN DIRECTLY INTO THIS EASEMENT EXCEPT BY MEANS OF AN APPROVED DRAINAGE STRUCTURE.

FURTHER, WE DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY MAINTAINELY ADJACENT TO THE BOUNDARIES OF THIS SUBDIVISION AND PRECEDING SUBDIVISION OF ADJACENT TO THE ESTABLISHED AND BUILDING SETBACK LINES OF PUBLIC UTILITY EASEMENTS, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

FURTHER, WE DO HEREBY ACKNOWLEDGE THE RECEIPT OF THE ORDERS FOR REGULATION OF OUTDOOR LIGHTING IN THE UNINCORPORATED AREAS OF FORT BENT COUNTY, TEXAS, AND DO HEREBY COVENANT AND AGREE AND SHALL COMPLY WITH THIS ORDER AS ADOPTED BY FORT BENT COUNTY COMMISSIONERS' COURT ON MARCH 23, 2004 AND ANY SUBSEQUENT AMENDMENT.

IN TESTIMONY WHEREOF, TAYLOR MORRISON OF TEXAS, INC., A TEXAS CORPORATION, HAS CAUSED THIS INSTRUMENT TO BE SIGNED BY ROBERT L. SKINNER, AUTHORIZED AGENT, THEREUNTO AUTHORIZED.

THIS _____ DAY OF _____, 2018.

TAYLOR MORRISON OF TEXAS, INC.,
A TEXAS CORPORATION

BY: _____
ROBERT L. SKINNER, AUTHORIZED AGENT

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ROBERT L. SKINNER, AUTHORIZED AGENT OF TAYLOR MORRISON OF TEXAS, INC., A TEXAS CORPORATION, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT.

GIVEN UNDER MY HAND AND SEAL OF OFFICE.

THIS _____ DAY OF _____, 2018.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

IN TESTIMONY WHEREOF, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, HAS CAUSED THESE PRESENTS TO BE SIGNED BY KEN BECKMAN, ITS PRESIDENT, THEREUNTO AUTHORIZED.

THIS _____ DAY OF _____, 2018.

SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT

BY: _____
KEN BECKMAN, PRESIDENT

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KEN BECKMAN, PRESIDENT OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT.

GIVEN UNDER MY HAND AND SEAL OF OFFICE.

THIS _____ DAY OF _____, 2018.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

L. JON P. BORODOVSKY, A REGISTERED PROFESSIONAL LAND SURVEYOR, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF LAND SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT, WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT ALL BOUNDARY CORNERS, ANGLES, POINTS OF CURVATURE AND OTHER POINTS OF INTEREST ARE BEING MARKED WITH IRON OR OTHER SUITABLE PERMANENT METAL PIPES OR RODS HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN FIVE-EIGHTHS (5/8) INCH WITH PLASTIC CAP MARKED "JOB PARTNERS" AND A LENGTH OF NOT LESS THAN THREE (3) FEET (SEE NOTE 9).

JON P. BORODOVSKY, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6405

L. AMANDA CARRAGE, A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TEXAS DO HEREBY CERTIFY THAT THIS PLAT MEETS ALL REQUIREMENTS OF FORT BENT COUNTY TO THE BEST OF MY KNOWLEDGE.

AMANDA CARRAGE, P.E.
LICENSED PROFESSIONAL ENGINEER
TEXAS LICENSE NO. 105912

STATE OF TEXAS
COUNTY OF BENT

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MISSOURI CITY, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF AERIAL AT SIENNA PLANTATION SECTION 5 IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF MISSOURI CITY AS SHOWN HEREON AND AUTHORIZED THE RECORDING OF THIS PLAT.

THIS _____ DAY OF _____, 2018.

SONYA BROWN-MARSHALL, CHAIRMAN

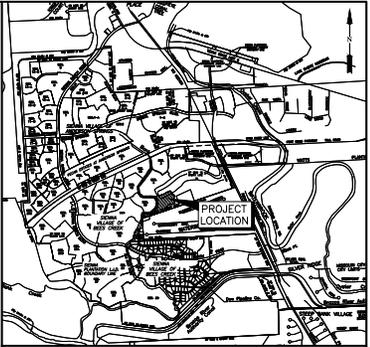
TIMOTHY HANKE, VICE CHAIRMAN

NOTES:

- BENCHMARK: P.D. 4 INCH BRASS DISC SET IN CONCRETE AT THE SOUTHWESTERN CORNER OF INTERSECTION SIENNA PARKWAY AND TRAMMEL-PEDRO ROAD. SURVEY NO. PCL-003 ELEV. = 166.07' 2001 ADJUSTMENT
- T.B.M. INDICATES TEMPORARY BENCHMARK P.D. 5/8 INCH IRON ROD ON CAP MARKED _____
- ALL SURVINGS REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD83), COORDINATES ON AN GRID AND MAY BE CONVERTED TO SURVING BY DIVIDING BY A FACTOR OF 0.99998797.
- THIS PLAT WAS PREPARED TO MEET CITY OF MISSOURI CITY AND FORT BENT COUNTY REQUIREMENTS.
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY STEWART TITLE COMPANY, FILE NO. 101303L, DATED JULY 17, 2018. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- THIS PLAT LIES PARTIALLY WITHIN THE CITY OF MISSOURI CITY CITY LIMITS, THE ETO OF THE CITY OF MISSOURI CITY AND THE UNINCORPORATED AREAS OF THE CITY OF MISSOURI CITY AND WHOLLY WITHIN THE SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 12, FORT BENT COUNTY SUBDIVISION DISTRICT, FORT BENT COUNTY DRAINAGE DISTRICT, AND FORT BENT COUNTY.
- IN ACCORDANCE WITH FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. 48103-0002, REVISED APRIL 2, 2014, FORTBENT LIES WITHIN SHADDED ZONE "X" AS DEFINED AS AREAS OF 0.25 ANNUAL CHANCE FLOOD "X" AS DEFINED AS AREAS OF THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD). LIA DOES NOT ADVERTISE NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS.
- THERE ARE NO PIPELINES AND/OR PIPELINE EASEMENTS WITHIN THE LIMITS OF THE SUBDIVISION.
- FIVE EIGHTHS (5/8) IRON RODS THREE FEET (3') IN LENGTH WITH A PLASTIC CAP MARKED "JOB PARTNERS" WILL BE SET ON ALL PERMETER BOUNDARY CORNERS. LOT, BLOCK, AND RESERVE CORNERS WILL BE SET UPON COMPLETION OF ROAD CONSTRUCTION AND PRIOR TO LOT CONSTRUCTION.
- THE TOP OF ALL FLOOR SLABS SHALL BE A MINIMUM OF 62.20 FEET ABOVE MEAN SEA LEVEL. FEMA REGULATIONS SECTION 82-97(1) REQUIRES THE MINIMUM SLAB ELEVATION SHALL BE ONE FOOT ABOVE THE FLOOD ELEVATION. THE CITY OF MISSOURI CITY CODE OF ORDINANCES SECTION 42, ARTICLE II REQUIRES THE MINIMUM SLAB ELEVATION SHALL BE ELUANTIVE TO GREATER THAN THE HIGHER OF EIGHTEEN INCHES ABOVE HIGHEST ADJACENT GROUND, OR TWELVE INCHES ABOVE THE MAXIMUM ONE PERCENT ANNUAL FLOOD RISK FLOODPLAIN FLOOD ELEVATION IN THE NEAREST DRAINAGE SYSTEM. FORT BENT COUNTY FLOODPLAIN REGULATIONS ARTICLE 5, SECTION B REQUIRES THE MINIMUM SLAB BE AT AN ELEVATION OF ONE FOOT ABOVE THE FLOOD FLOOD ELEVATION WHICH IS MORE STRINGENT AND THEREFORE USED TO DETERMINE THE MINIMUM SLAB BE AT AN ELEVATION OF ONE FOOT ABOVE THE FLOOD FLOOD ELEVATION OF THE SLAB SHALL NOT BE LESS THAN EIGHTEEN (18) INCHES ABOVE NATURAL GROUND.
- THE DRAINAGE SYSTEM FOR THIS SUBDIVISION SHALL BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF THE FORT BENT COUNTY DRAINAGE CRITERIA MANUAL, WHICH ALLOWS STREET PONDING DURING INTENSE RAINFALL EVENTS.
- ALL DRAINAGE AND FLOODING EASEMENTS SHALL BE CLEAR OF FENCES, BOLLARDS, PLANTINGS, AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE DRAINAGE FACILITY AS REQUIRED BY SUBSECTION 82-168(D) OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY.
- ALL PROPERTY TO DRAIN INTO THE DRAINAGE EASEMENT ONLY THROUGH AN APPROVED DRAINAGE STRUCTURE.
- A MINIMUM DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN RESIDENTIAL DWELLINGS.
- THE CITY OF MISSOURI CITY CODE OF ORDINANCES SECTION 42, ARTICLE II, SUBSECTION 42.01(B), EMERGENCY ACCESS EASEMENTS, RECREATIONAL AREAS, AND OPEN SPACES: THE CITY OF MISSOURI CITY CODE OF ORDINANCES SECTION 42, ARTICLE II, SUBSECTION 42.01(B), EMERGENCY ACCESS EASEMENTS, RECREATIONAL AREAS AND OPEN SPACES AS REQUIRED BY SECTION 3.1(12) OF THE ADMINISTRATIVE PLATING MANUAL OF THE CITY OF MISSOURI CITY (JUNE 2014).
- SIDEWALK SHALL BE BUILT OR CAUSED TO BE BUILT NOT LESS THAN 5-FEET WITHIN BOTH SIDES OF A DEDICATED HIGHWAY AND ON CONTIGUOUS LOTS TO THE RIGHT-OF-WAY OF ALL PERMETER ROADS SURROUNDING SAID PLAT IN ACCORDANCE WITH ADA REQUIREMENTS.
- PERMETERS SHALL BE BUILT AS REQUIRED BY SECTION 82-164 OR THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.
- DRIVEWAY APPROACHES SHALL BE PROVIDED IN ACCORDANCE WITH THE MISSOURI CITY DRAINAGE APPROACH POLICY AS REQUIRED UNDER THE PROVISIONS OF SUBSECTION 82-160 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.
- DRIVEWAY LOCATION - FOR THE LOTS ON THE INSIDE OF A KNICHOKE OR 90 DEGREE TURN, DRIVEWAY MUST BE PLACED ON LOT FOOT FRONTALY ALONG THE NEAREST ADJACENT LANE PRIOR TO THE RIGHT TURN, TO AVOID SIGHT OBSTRUCTION SAFETY HAZARDS.
- ALL REQUIRED UTILITY COMPANIES HAVE BEEN CONTACTED AND ALL PUBLIC UTILITY EASEMENTS AS SHOWN ON THE ABOVE FOREGOING PLAT CONTINUE ALL OF THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES CONTACTED AT THE TIME OF PLATING.
- GAS METER LOCATION: GAS METERS SHALL BE LOCATED IN AN AREA ACCESSIBLE WITHOUT CUSTOMER ASSISTANCE AND NOT BLOCKED BY FENCES, WALLS OR GATES. FOR FURTHER INFORMATION PLEASE CONTACT SENERGY AT 281-778-8200.
- ALL OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING PLAT IS WITHIN THE ETJ BOUNDARIES OF THE CITY OF MISSOURI CITY, TEXAS.
- NO BUILDING OR OTHER PERMIT, EXCEPT PERMITS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS WILL BE ISSUED BY THE CITY OF MISSOURI CITY, TEXAS, FOR CONSTRUCTION WITHIN THIS SUBDIVISION UNLESS SUCH THING AS ALL PUBLIC IMPROVEMENTS OF THE SUBDIVISION HAVE BEEN CONSTRUCTED BY THE DEVELOPER AND ACCEPTED BY THE CITY OR THE GUARANTEE OF CONSTRUCTION OF PUBLIC IMPROVEMENTS REQUIRED BY SECTION 82-204 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS, IS SUBMITTED TO AND APPROVED BY THE CITY.
- PRIOR TO THE BEGINNING OF THE ONE-YEAR MAINTENANCE PERIOD FOR UTILITIES AND PAVING BY FORT BENT COUNTY, ALL BLOCK CORNERS AND STREET RIGHT-OF-WAY WILL BE MONITORED.
- ADEQUATE FIRE FLOWS SHALL BE PROVIDED ALONG THE ENTIRE LENGTH OF THE PROPOSED WATER LINE.
- MINIMUM FIRE FLOWS SHALL BE PROVIDED BASED ON THE SIZE AND CONSTRUCTION OF ALL BUILDINGS AS REQUIRED BY THE INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY.
- THE PLACEMENT OF FIRE HYDRANTS SHALL BE PROVIDED BASED ON THE MINIMUM DISTANCE REQUIREMENTS AS ESTABLISHED BY THE INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY (SOFT FOR RESIDENTIAL DEVELOPMENT AND SOFT FOR COMMERCIAL DEVELOPMENT). ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO THE INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY.
- STREET LIGHTING SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CITY OF MISSOURI CITY INFRASTRUCTURE AND UTILITIES DEPARTMENT MANUALS AND ANY OVERHEAD UTILITIES. THE INSTALLATION, OPERATION, AND MAINTENANCE OF ORNAMENTAL STREET LIGHTS SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF MISSOURI CITY, EXCEPT AS PROVIDED THEREIN.
- OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF THE DRAINAGE RESERVES AND CHANNELS IS VESTED IN THE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF LANDSCAPE RESERVES IS VESTED IN THE SIENNA PLANTATION LEVEE IMPROVEMENT ASSOCIATION, INC. (S.P.L.A.) OR THE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT.
- OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF THE UTILITIES WITHIN THE SECTIONS IS VESTED IN THE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT NO. 12. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF THE UTILITIES ALONG BOULEVARD AND MAJOR THOROUGHFARE UTILITIES IS VESTED IN THE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT NO. 12.
- IN ACCORDANCE WITH CENTER POINT ENERGY ELECTRICAL SERVICE MANUAL ARTICLE 421.2, ELECTRIC METERS SHALL BE LOCATED IN A POSITION THAT IS ACCESSIBLE AT ALL TIMES WITHOUT CUSTOMER ASSISTANCE. ACCESS TO THE METER SHALL NOT BE BLOCKED BY GATES, WALLS OR FENCES.
- THIS PLAT LIES WITHIN LIGHTING ZONE 2.
- ALL PAWS ISLANDS WITH THE RIGHTS-OF-WAY OF THIS PLAT WILL BE MAINTAINED BY THE SIENNA PLANTATION LEVEE IMPROVEMENT ASSOCIATION, INC. (S.P.L.A.) AND IS NOT THE RESPONSIBILITY OF THE CITY OF MISSOURI CITY OR FORT BENT COUNTY.
- L.I.V.E. INDICATES UNREGISTERED VUE EASEMENT. FORT BENT COUNTY SHALL BE RESPONSIBLE FOR ENFORCING UTILITY REQUIREMENTS AND THE PUBLIC RIGHT-OF-WAY AND SIENNA PLANTATION COMPANY ASSOCIATION, INC. SHALL ENFORCE AREAS OUTSIDE OF RIGHT-OF-WAY.
- THIS PLAT IS SUBORNATED BY: ALVIN SAN MIGUEL, VICE PRESIDENT/GENERAL MANAGER, SENECA 325, LP, AS RECORDED IN FILE NO. _____ OF THE OFFICIAL RECORDS OF FORT BENT COUNTY, TEXAS.
- SITE PLANS SHALL BE SUBMITTED TO FORT BENT COUNTY AND ANY OTHER APPLICABLE JURISDICTION FOR REVIEW AND APPROVAL. PERMITS AND ALL OTHER APPLICABLE PERMITS SHALL BE OBTAINED FROM FORT BENT COUNTY PRIOR TO BEGINNING CONSTRUCTION.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 103°04'12"	13.94'
L2	S 89°59'34"	23.20'
L3	N 19°34'30"	18.62'
L4	N 77°39'22"	16.84'
L5	N 80°14'50"	26.76'
L6	N 94°58'41"	16.71'
L7	N 92°03'42"	30.27'
L8	N 70°54'32"	43.14'
L9	N 78°17'41"	46.05'
L10	N 52°52'39"	55.86'
L11	S 40°17'12"	46.09'
L12	S 22°59'12"	113.99'
L13	S 82°10'38"	30.94'
L14	S 89°32'12"	50.00'
L15	N 82°10'38"	45.30'
L16	S 27°29'50"	72.39'
L17	S 19°42'08"	47.22'
L18	S 12°42'08"	102.82'
L19	S 27°12'12"	50.50'
L20	N 18°31'14"	130.00'
L21	S 71°28'54"	173.19'
L22	N 76°29'18"	26.00'
L23	S 14°43'17"	62.87'
L24	S 52°42'37"	91.40'
L25	S 27°39'52"	152.19'
L26	N 13°34'22"	38.19'
L27	N 89°04'22"	104.36'
L28	N 10°24'52"	152.78'
L29	N 12°02'11"	62.87'
L30	S 71°28'54"	44.04'
L31	S 70°03'54"	26.00'
L32	S 71°28'54"	44.04'
L33	N 71°28'54"	62.74'
L34	N 10°24'52"	144.27'
L35	N 80°14'50"	50.50'
L36	S 89°58'41"	60.07'
L37	S 19°04'14"	26.60'
L38	S 19°31'38"	31.60'

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD	CHORD BEARING
C1	2009.00'	270°00'	2119'	2119'	N 42°30'00"
C2	25.00'	53°04'47"	23.30'	22.00'	S 81°42'00"
C3	50.00'	113°20'00"	50.00'	83.60'	S 80°12'00"
C4	800.00'	82°20'00"	114.80'	116.74'	S 87°31'41"
C5	50.00'	81°24'00"	79.77'	71.04'	S 28°50'18"
C6	800.00'	82°20'00"	114.80'	116.74'	S 87°31'41"
C7	25.00'	53°04'47"	23.30'	22.00'	S 81°42'00"
C8	50.00'	203°14'41"	214.63'	81.60'	N 74°38'15"
C9	25.00'	70°31'44"	30.17'	28.87'	N 10°24'45"
C10	25.00'	35°02'31"	14.60'	16.30'	N 38°32'28"
C11	50.00'	144°51'05"	126.42'	96.34'	N 14°31'19"
C12	25.00'	172°24'24"	43.21'	43.01'	N 79°24'18"
C13	82102.88'	82°20'00"	113.10'	113.00'	N 47°21'41"
C14	50.00'	47°02'45"	43.41'	61.18'	N 71°20'57"
C15	108.00'	48°12'45"	91.48'	88.77'	N 68°42'27"



VICINITY MAP
SCALE: 1" = 2,640'
KEY MAP NO. 650-A

L. RICHARD W. STOLLES, FORT BENT COUNTY ENGINEER, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE FORT BENT COUNTY COMMISSIONERS' COURT; HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON THE INTERFERING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OR SUBDIVISION WITHIN THE WATERSHED.

RICHARD W. STOLLES, P.E.
FORT BENT COUNTY ENGINEER

APPROVED BY THE COMMISSIONERS' COURT OF FORT BENT COUNTY, TEXAS,
THIS _____ DAY OF _____, 2018.

VINCENT M. MORALES, JR. GRADY PRESTAGE
PRECINCT 1, COUNTY COMMISSIONER PRECINCT 2, COUNTY COMMISSIONER

ROBERT E. HERBERT
COUNTY CLERK

W. A. (ANDY) METERS JAMES PATTERSON
PRECINCT 3, COUNTY COMMISSIONER PRECINCT 4, COUNTY COMMISSIONER

L. LAURA RICHARD, COUNTY CLERK IN AND FOR FORT BENT COUNTY, HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDATION IN MY OFFICE ON _____, 2018 AT _____ O'CLOCK _____ M. IN PLAT NUMBER _____ OF

THE PLAT RECORDS OF FORT BENT COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE, AT RICHMOND, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

LAURA RICHARD, COUNTY CLERK
FORT BENT COUNTY, TEXAS

BY: _____
DEPUTY

AVALON AT SIENNA PLANTATION SECTION 5

A SUBDIVISION OF 16,368 ACRES OF LAND SITUATED IN THE MOSES SHIPMAN SURVEY, ABSTRACT 86, FORT BENT COUNTY, TEXAS.

20 LOTS 4 RESERVES (10.191 ACRES) 1 BLOCK
JULY 20, 2018 JOB NO. 0074-1405

OWNERS:
TAYLOR MORRISON OF TEXAS, INC.

ROBERT L. SKINNER, AUTHORIZED AGENT
5353 WEST HOUSTON PARKWAY, SUITE 190, HOUSTON, TEXAS 77041
PH. (281) 598-3073

SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT

KEN BECKMAN, PRESIDENT
202 CENTURY SQUARE BLVD., SUGARLAND, TEXAS 77478-3796
PH. (281) 500-6050

ENGINEER:
LJA Engineering, Inc.

1104 W. Grand Parkway North Suite 100 Katy, Texas 77449
Phone 713.953.9200 Fax 713.953.9209 ERM-F1386

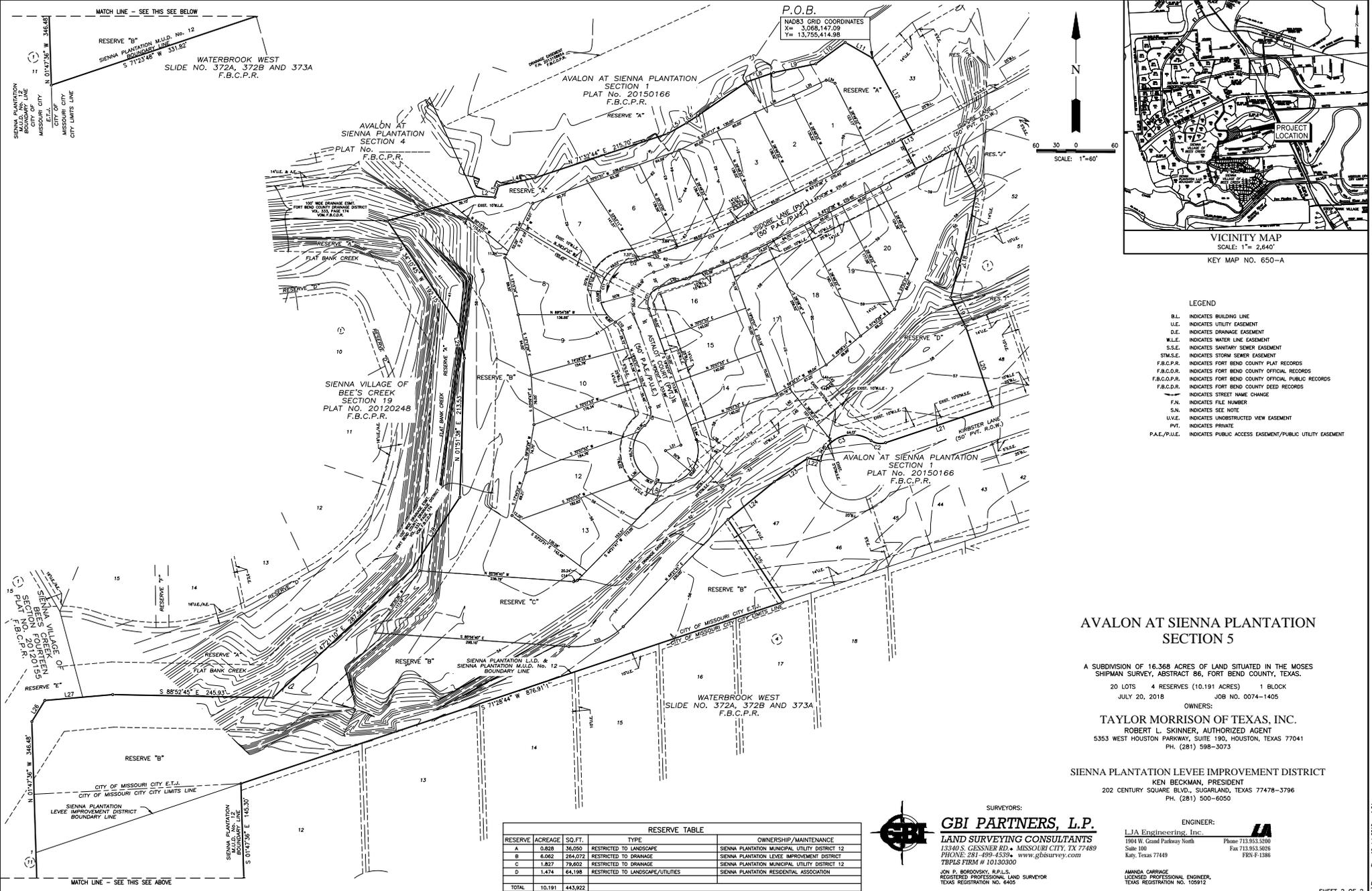
AMANDA CARRAGE
LICENSED PROFESSIONAL ENGINEER,
TEXAS REGISTRATION NO. 105912

GPI PARTNERS, L.P.
LAND SURVEYING CONSULTANTS
13340 S. GESSNER RD. • MISSOURI CITY, TX 77489
PHONE: 281-499-4339 • www.gpiurvey.com
TBPUS FIRM # 10130000

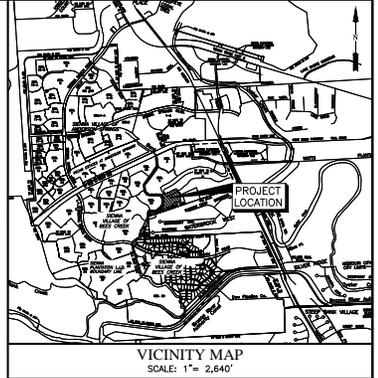
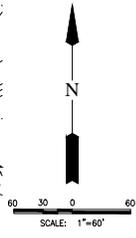
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6405

FILED
VP
CORRO
COUNTY CLERK

FILED
VP
CORRO
COUNTY CLERK



P.O.B.
 NAD83 GRID COORDINATES
 X = 3,008,147.08
 Y = 13,755,414.98



- LEGEND**
- B.L. INDICATES BUILDING LINE
 - U.E. INDICATES UTILITY EASEMENT
 - D.E. INDICATES DRAINAGE EASEMENT
 - W.L.E. INDICATES WATER LINE EASEMENT
 - S.S.E. INDICATES SANITARY SEWER EASEMENT
 - ST.M.S.E. INDICATES STORM SEWER EASEMENT
 - F.B.C.P.R. INDICATES FORT BEND COUNTY PLAT RECORDS
 - F.B.C.D.R. INDICATES FORT BEND COUNTY OFFICIAL RECORDS
 - F.B.C.O.P.R. INDICATES FORT BEND COUNTY OFFICIAL PUBLIC RECORDS
 - F.B.C.D.R. INDICATES FORT BEND COUNTY DEED RECORDS
 - FAI. INDICATES STREET NAME CHANGE
 - FN. INDICATES FILE NUMBER
 - S.N. INDICATES SEE NOTE
 - U.V.E. INDICATES UNOBSTRUCTED VIEW EASEMENT
 - P.V. INDICATES PRIVATE
 - P.A.E./P.U.E. INDICATES PUBLIC ACCESS EASEMENT/PUBLIC UTILITY EASEMENT

AVALON AT SIENNA PLANTATION SECTION 5

A SUBDIVISION OF 16.368 ACRES OF LAND SITUATED IN THE MOSES SHIPMAN SURVEY, ABSTRACT 86, FORT BEND COUNTY, TEXAS.

20 LOTS 4 RESERVES (10.191 ACRES) 1 BLOCK
 JULY 20, 2018 JOB NO. 0074-1405

OWNERS:
TAYLOR MORRISON OF TEXAS, INC.
 ROBERT L. SKINNER, AUTHORIZED AGENT
 5353 WEST HOUSTON PARKWAY, SUITE 190, HOUSTON, TEXAS 77041
 PH. (281) 598-3073

SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT
 KEN BECKMAN, PRESIDENT
 202 CENTURY SQUARE BLVD., SUGARLAND, TEXAS 77478-3796
 PH. (281) 500-6050



SURVEYORS:
GBI PARTNERS, L.P.
 LAND SURVEYING CONSULTANTS
 13340 S. GESSNER RD. • MISSOURI CITY, TX 77489
 PHONE: 281-499-4339 • www.gbisurvey.com
 TPLS FIRM # 10130300
 JON P. BOBROVSKY, R.P.L.S.
 REGISTERED PROFESSIONAL LAND SURVEYOR
 TEXAS REGISTRATION NO. 6405

ENGINEER:
LJA Engineering, Inc.
 1904 W. Grand Parkway North
 Suite 100 Katy, Texas 77449
 Phone 713.953.5500
 Fax 713.953.9059
 ERI-1386

AMANDA CARRAGE
 LICENSED PROFESSIONAL ENGINEER
 TEXAS REGISTRATION NO. 105912

RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	0.828	36,050	RESTRICTED TO LANDSCAPE
B	6.062	264,072	RESTRICTED TO DRAINAGE
C	1.827	79,602	RESTRICTED TO DRAINAGE
D	1.474	64,198	RESTRICTED TO LANDSCAPE/UTILITIES
TOTAL		10.191	443,922

OWNERSHIP/MAINTENANCE	
RESERVE A	SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT 12
RESERVE B	SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT
RESERVE C	SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT 12
RESERVE D	SIENNA PLANTATION RESIDENTIAL ASSOCIATION

MPLAR CHECK: COORD

DATE: 07/20/2018 10:53:00 AM
 DRAWN BY: JON P. BOBROVSKY
 CHECKED BY: AMANDA CARRAGE
 PROJECT: AVALON AT SIENNA PLANTATION SECTION 5



**PLANNING AND ZONING COMMISSION
STAFF REPORT**

AGENDA DATE: August 8, 2018

AGENDA ITEM SUBJECT: Final Plat of Sienna Plantation Section 14
(Revised)

AGENDA ITEM NUMBER: 6.A.3

PROJECT PLANNER: Thomas K. White Jr., Planner II

APPROVAL:  **Otis T. Spriggs, AICP, Director, Development Services**
Shashi K. Kumar, P.E., CFM, City Engineer/Public Works Director

PERMIT NUMBER: PLAT1800055

PROPERTY ID: Various, application tied to 0025-00-000-1945-907

LOCATION: South and west of the intersection of Sienna Parkway and Scanlan Trace, East of the Brazos River

ZONING DISTRICT DESIGNATION: ETJ, Extraterritorial Jurisdiction

DEVELOPMENT AGREEMENT/STRATEGIC PARTNERSHIP: The subject site is located within Tract B which is governed by the provisions of the 8th amendment to the Sienna Plantation Joint Development Agreement

RECOMMENDED ACTION:

The Planning and Zoning Commission should grant approval of this **Final Plat** conditioned on addressing the following deficiencies.

All conditions placed on this application as a result of the Commission's approval must be approved by the Development Services Department before recordation of the final plat.

Copies of recorded plats for subdivisions are required to be submitted in electronic, mylar, and paper formats.

A final plat application must be in the form and contain the information and documents as required by the Administrative Platting Manual of the City of Missouri City, as adopted in June 2014 and in accordance with Section 82-95 of the Code of Ordinances of the City of Missouri City. The applicable sections of the Administrative Platting Manual are referenced in the comments below, except where indicated otherwise.

BACKGROUND: A final plat for the subject subdivision was conditionally approved by the Commission on its July 12, 2017 meeting. The plat had subsequently been fully approved. After approval and prior to the recordation of the plat, the applicant indicated a desire to change certain lots widths contained in the plat. Those changes are reflected in this revised final plat.

A. PROCEDURAL AND/OR SUBSTANTIVE DEFICIENCIES:

1. **RESPONSIBLE DEPARTMENT/DIVISION:** Development Services/Planning and Development Division
 - a. A current title report or title policy, prepared within 45 days of the date that the final plat was furnished to the Commission must be provided in accordance with Section 3.C(9).
 - b. All lots and blocks shall be **numbered or lettered consecutively** in accordance with Section 2.D(3). A table should be used listing the identifying letter, use, and acreage of all reserves. The reserve table indicates that Sienna MUD #4 would be responsible for some areas and Sienna MUD #5 would be responsible for others. **Please clarify the boundary of both MUDS subject to the properties they will maintain.**
 - c. The vicinity map must show sufficient detail to a distance of not less than one-half mile. The suggested scale of the vicinity map is one inch equals 1,200 feet. The vicinity map shall be oriented north at the top of the drawing and in the same direction as the subdivision drawing in accordance with Section 2.D(9). **Please ensure that all MUD boundaries are shown clearly.**
 - d. The Execution of owner's acknowledgement must be made a part of the final plat drawing in accordance with Section 3.C(8)(b).
2. **RESPONSIBLE DEPARTMENT/DIVISION:** Public Works/Engineering Division
None.
3. **RESPONSIBLE DEPARTMENT/DIVISION:** Public Works/GIS Division
None.

B. STANDARD PLAT NOTES:

The following plat notes must be included on the face of a final plat:

1. **RESPONSIBLE DEPARTMENT/DIVISION:** Development Services/Planning and Development Division

None.

2. **RESPONSIBLE DEPARTMENT/DIVISION:** Public Works/Engineering Division

None.

-----END OF REPORT-----

STATE OF TEXAS
COUNTY OF FORT BEND

WE, TOLL-GTIS PROPERTY OWNER, LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING BY AND THROUGH JIMMIE F. JENKINS, AUTHORIZED REPRESENTATIVE, BEING AN OFFICER OF SAID PROPERTY OWNER, LLC, A TEXAS LIMITED LIABILITY COMPANY, AND WE, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, INC., A TEXAS LIMITED LIABILITY COMPANY, AND WE, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, INC., A TEXAS LIMITED LIABILITY COMPANY, AS OFFICERS OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, OWNERS OF THE 27,144 ACRES OF LAND DESCRIBED IN THE INSTRUMENT AND THEREIN, HEREBY COVENANT AND AGREE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND EASEMENTS TO BE CONVEYED BY THIS INSTRUMENT AND CONSIDERATIONS THEREIN EXPRESSED, AND DO HEREBY BIND OURSELVES, OUR HEIRS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DESIGNATED.

WE, FURTHER ACKNOWLEDGE THAT THE DECISIONS AND/OR EASEMENTS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE CITY OF MISSOURI CITY AND FORT BEND COUNTY, TEXAS, MAY MEET THE NEEDS OF THE CITY. WE, OUR SUCCESSORS AND ASSIGNEES HEREBY MAKE ANY CLAIM, DEMAND OR CAUSE OF ACTION THAT WE MAY SUFFER AS A RESULT OF THE DEDICATION OR EASEMENTS MADE HEREIN.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER UNRESTRICTED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11'-6") FOR TEN FEET (10') PERMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5'-6") FOR FOURTEEN FEET (14') PERMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5'-6") FOR SIXTEEN FEET (16') PERMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16') ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREIN THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21'-6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER UNRESTRICTED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10') FOR TEN FEET (10') BACK-TO-BACK GROUND EASEMENTS OR EIGHT FEET (8') FOR FOURTEEN FEET (14') BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7') FOR SIXTEEN FEET (16') BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16') ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREIN THE AERIAL EASEMENT TOTALS THIRTY FEET (30') IN WIDTH.

FURTHER, WE DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE INTENDED FOR THE CONSTRUCTION OF ONE OR MORE RESIDENTIAL DWELLING UNITS THEREON AND SHALL BE RESTRICTED FOR SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY.

FURTHER, WE DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE RESTRICTED TO PREVENT THE DRAINAGE OF ANY SEPTIC TANKS INTO ANY PUBLIC OR PRIVATE STREET, ROAD OR ALLEY OR ANY DRAINAGE DITCH, EITHER DIRECTLY OR INDIRECTLY.

FURTHER, WE DO HEREBY DEDICATE TO THE PUBLIC A STRIP OF LAND TWENTY (20) FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL BAYWAYS, CREEKS, GULLIES, SWALES, DRAINS AND DRAINAGE DITCHES LOCATED IN SAID SUBDIVISION, AS EASEMENTS FOR DRAINAGE PURPOSES. FORT BEND COUNTY OR ANY OTHER GOVERNMENTAL ENTITY SHALL HAVE THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSES OF CONSTRUCTION AND MAINTENANCE OF DRAINAGE FACILITIES AND STRUCTURES.

FURTHER, WE DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS SUBDIVISION AND ADJACENT TO ANY DRAINAGE EASEMENT, DITCH, GULLY, CREEK OR NATURAL DRAINAGE WAY SHALL HEREBY BE RESTRICTED TO KEEP SUCH DRAINAGE WAYS AND EASEMENTS CLEAR OF FENCES, BUILDINGS, EXCESSIVE VEGETATION AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE DRAINAGE FACILITY AND THAT SUCH ABUTTING PROPERTY SHALL NOT BE PERMITTED TO DRAIN DIRECTLY INTO THIS EASEMENT EXCEPT BY MEANS OF AN APPROVED DRAINAGE STRUCTURE.

FURTHER, WE DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION OF SIENNA PLANTATION SECTION 14 WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

FURTHER, WE DO HEREBY ACKNOWLEDGE THE RECEIPT OF THE ORDERS FOR REGULATION OF OUTDOOR LIGHTING IN THE UNINCORPORATED AREAS OF FORT BEND COUNTY, TEXAS, AND DO HEREBY COVENANT AND AGREE AND SHALL COMPLY WITH THIS ORDER AS ADOPTED BY FORT BEND COUNTY COMMISSIONERS COURT ON MARCH 23, 2004 AND ANY SUBSEQUENT AMENDMENT.

IN TESTIMONY WHEREOF, TOLL-GTIS PROPERTY OWNER, LLC, A TEXAS LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY JIMMIE F. JENKINS, ITS AUTHORIZED REPRESENTATIVE, THEREUNTO AUTHORIZED.

THIS _____ DAY OF _____ 2018.

TOLL-GTIS PROPERTY OWNER, LLC
A TEXAS LIMITED LIABILITY COMPANY

BY: JIMMIE F. JENKINS, AUTHORIZED REPRESENTATIVE

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIMMIE F. JENKINS, AUTHORIZED REPRESENTATIVE OF TOLL-GTIS PROPERTY OWNER, LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HERETO SET OUT.

GIVEN UNDER MY HAND AND SEAL OF OFFICE,

THIS _____ DAY OF _____ 2018.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



IN TESTIMONY WHEREOF, SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, HAS CAUSED THESE PRESENTS TO BE SIGNED BY KEN BECKMAN, ITS PRESIDENT, THEREUNTO AUTHORIZED.

THIS _____ DAY OF _____ 2018.

SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT

BY: KEN BECKMAN, PRESIDENT

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KEN BECKMAN, PRESIDENT OF SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HERETO SET OUT.

GIVEN UNDER MY HAND AND SEAL OF OFFICE,

THIS _____ DAY OF _____ 2018.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, JON P. BORODOVSKY, A REGISTERED PROFESSIONAL LAND SURVEYOR, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF LAND SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT, WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT ALL BOUNDARY CORNERS, ANGLES, POINTS OF CURVATURE AND OTHER POINTS OF REFERENCE HAVE BEEN MARKED WITH IRON (OR OTHER SUITABLE PERMANENT METAL) PIPES OR RODS MARKING AN OUTSIDE DIAMETER OF NOT LESS THAN FIVE-EIGHTHS (5/8) INCH WITH PLASTIC CAP MARKED "JOB PARTNERS" AND A LENGTH OF NOT LESS THAN THREE (3) FEET (SEE NOTE 5).

JON P. BORODOVSKY, R.P.L.S.,
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6405

I, AMANDA CARRAGE, A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TEXAS DO HEREBY CERTIFY THAT THIS PLAT MEETS ALL REQUIREMENTS OF FORT BEND COUNTY TO THE BEST OF MY KNOWLEDGE.

AMANDA CARRAGE, P.E.,
LICENSED PROFESSIONAL ENGINEER
TEXAS LICENSE NO. 109612

STATE OF TEXAS
COUNTY OF FORT BEND

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MISSOURI CITY, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF SIENNA PLANTATION SECTION 14 IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF MISSOURI CITY AS SHOWN HEREON AND AUTHORIZED THE RECORDING OF THIS PLAT.

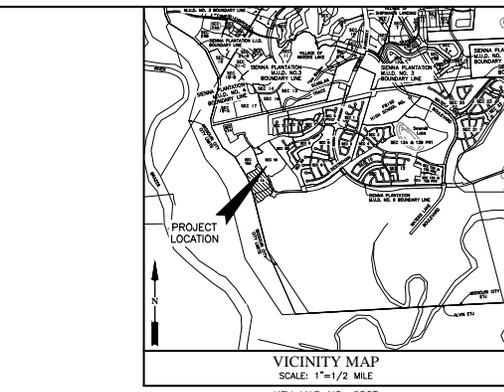
THIS _____ DAY OF _____ 2018.

SONJA BROWN-MARSHALL, CHAIRMAN

TIMOTHY R. HANEY, VICE CHAIRMAN

NOTES:

- BENCHMARK FOUND 4 INCHES DSC LOCATED IN A Poured CONCRETE POST IN THE GRASSY AREA IN FRONT OF MISSOURI CITY FIRE STATION NUMBER 2, 16.5 FEET FROM THE SIDE WALK. SURVEY MARKER NO. FCM-011. ELEV. = 59.97' (NAVD83 2001 ADJUSTMENT)
- T.B.M. INDICATES TEMPORARY BENCHMARK FID. 0/8 INCH IRON ROD WITH CAP MARKED "J.A. DMC" ELEV. = 53.75' 2001 ADJUSTMENT
- ALL BEARINGS REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD83), COORDINATES SHOWN ARE GRID AND MAY BE CONVERTED TO SURFACE BY DIVING BY A FACTOR OF 0.99999761.
- THIS PLAT WAS PREPARED TO MEET CITY OF MISSOURI CITY AND FORT BEND COUNTY REQUIREMENTS.
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY STEWART TITEL COMPANY, FILE NO. 1790231.DCLP DATED JUNE 22, 2017. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- THIS PLAT LIES WHOLLY WITHIN SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, FORT BEND COUNTY DRAINAGE DISTRICT NO. 4 AND SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT, FORT BEND COUNTY DRAINAGE DISTRICT NO. 4 AND SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 6.
- IN ACCORDANCE WITH FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD RESURANCE RATE MAP, MAP NO. 48157C DASSL, REVISED DATE APRIL 2, 2014, PROPERTY LIES WITHIN SHADZC ZONE "X" DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD. THIS AREA IS SHOWN AS BEING PROTECTED FROM THE 1% ANNUAL CHANCE OR GREATER FLOOD HAZARD BY A LEVEL SYSTEM, OVERTOPPING OR FAILURE OF ANY LEVEL SYSTEM IS POSSIBLE BUT PROBABILITY NOT SUBJECT TO THE ACCURACY OR SCALE OF SAID MAPS.
- THERE ARE NO EXISTING OR PROPOSED PIPELINE EASEMENTS WITHIN THE LIMITS OF THE SUBDIVISION.
- FIVE EIGHTHS INCH (5/8") IRON ROD THREE FEET (3') IN LENGTH WITH A PLASTIC CAP MARKED "JOB PARTNERS" WILL BE SET ON ALL PERMETER BOUNDARY CORNERS. LOT, BLOCK, AND RESERVE CORNERS WILL BE SET UPON COMPLETION OF ROAD CONSTRUCTION AND PRIOR TO LOT CONSTRUCTION.
- THE TOP OF ALL FLOOR SLABS SHALL BE A MINIMUM OF 56.99 FEET ABOVE MEAN SEA LEVEL. FEMA REGULATIONS SECTION 82-97(11) REQUIRES THE MINIMUM ELEVATION SHALL BE SET ONE FOOT ABOVE THE 100-YEAR FLOOD ELEVATION. THE CITY OF MISSOURI CITY CODE OF ORDINANCES SECTION 42.1 ARTICLE 1B REQUIRES THE MINIMUM SLAB ELEVATION SHALL BE ELEVATED TO THE ABOVE A HEIGHT WHICH IS HIGHER OF EIGHTEEN INCHES ABOVE HIGHEST ADJACENT FINISH OR FINISH ELEVATION OR THE MINIMUM ONE PERCENT ANNUAL FLOOD RISK FLOODPLAIN ELEVATION. THE "FINISH" MANAGEMENT SYSTEM, FORT BEND COUNTY FLOODPLAIN REGULATIONS ARTICLE 5, SECTION 9, REQUIRES THAT THE MINIMUM SLAB BE SET AT AN ELEVATION FORTY EIGHT INCHES ABOVE THE 100 YEAR FLOOD ELEVATION WHICH IS MORE STRINGENT AND THEREFORE USED TO DETERMINE THE MINIMUM SLAB ELEVATION. THE TOP OF SLAB ELEVATION AT ANY POINT ON THE PERMETER OF THE SLAB SHALL NOT BE LESS THAN EIGHTEEN (18) INCHES ABOVE NATURAL GROUND.
- ALL DRAINAGE AND FLOODING EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE DRAINAGE FACILITY AS REQUIRED BY SUBSECTION 65-186(D) OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.
- THE DRAINAGE SYSTEM FOR THIS SUBDIVISION SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE FORT BEND COUNTY DRAINAGE CRITERIA MANUAL, WHICH ALLOWS STREET POURING DURING INTENSE RAINFALL EVENTS.
- ALL PROPERTY TO DRAIN INTO THE DRAINAGE EASEMENT MUST THROUGH AN APPROVED DRAINAGE STRUCTURE.
- A MINIMUM DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN RESIDENTIAL STRUCTURES.
- THE CITY OF MISSOURI CITY SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF DRIVEWAYS, SIDEWALKS, EMERGENCY ACCESS EASEMENTS, RECREATIONAL AREAS, OPEN SPACE AND RESERVES.
- SEWERLINES SHALL BE RULED OR CALLED TO BE BUILT NOT LESS THAN 5-FEET IN WIDTH ON BOTH SIDES OF ALL DEDICATED RIGHTS-OF-WAY WITHIN SAID PLAT AND ON CONTIGUOUS RIGHT-OF-WAY OF ALL PERMETER ROADS SURROUNDING SAID PLAT, IN ACCORDANCE WITH ACD REQUIREMENTS.
- SEWERLINES SHALL BE CONSTRUCTED AS REQUIRED BY SECTION 82-164 OR THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.
- DRIVEWAY APPROACHES SHALL BE PROVIDED IN ACCORDANCE WITH THE MISSOURI CITY DRIVEWAY APPROACH POLICY AS REQUIRED UNDER THE PROVISIONS OF SUBSECTION 65-186(D) OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS.
- IN ACCORDANCE WITH CENTER POINT ENERGY ELECTRICAL SERVICE MANUAL, ARTICLE 421.2, ELECTRIC METERS SHALL BE LOCATED IN A POSITION THAT IS ACCESSIBLE AT ALL TIMES WITHOUT CUSTOMER ASSISTANCE. ACCESS TO THE METER SHALL NOT BE BLOCKED BY GATES, WALLS OR FENCES.
- ALL REQUIRED UTILITY COMPANIES HAVE BEEN CONTACTED AND ALL PUBLIC UTILITY EASEMENTS AS SHOWN ON THE ABOVE AND FOREGOING PLAT CONSTITUTE ALL OF THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES CONTACTED AT THE TIME OF PLATING.
- GAS METER LOCATION: GAS METERS SHALL BE LOCATED IN AN AREA ACCESSIBLE WITHOUT CUSTOMER ASSISTANCE, AND NOT BLOCKED BY FENCES, WALLS OR GATES. FOR FURTHER INFORMATION PLEASE CONTACT SENIORITY AT 281-778-4250.
- ALL OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING PLAT IS WITHIN THE ETJ BOUNDARIES OF THE CITY OF MISSOURI CITY, TEXAS.
- NO BUILDING OR OTHER PERMIT, EXCEPT PERMITS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS WILL BE ISSUED BY THE CITY OF MISSOURI CITY, TEXAS, FOR CONSTRUCTION WITHIN THIS SUBDIVISION UNLESS SUCH OF ALL PUBLIC IMPROVEMENTS OF THE SUBDIVISION HAVE BEEN CONSTRUCTED BY THE DEVELOPER AND ACCEPTED BY THE CITY OR THE GUARANTEE OF CONSTRUCTION OF PUBLIC IMPROVEMENTS REQUIRED BY SECTION 92-208 OF THE CODE OF ORDINANCES OF THE CITY OF MISSOURI CITY, TEXAS, IS APPLIED TO AND APPROVED BY THE CITY.
- PRIOR TO THE BEGINNING OF THE ONE-YEAR MAINTENANCE PERIOD FOR UTILITIES AND PAVING BY FORT BEND COUNTY, ALL BLOCK CORNERS AND STREET RIGHT-OF-WAY WILL BE MONUMENTED.
- ADEQUATE FIRE FLOWS SHALL BE PROVIDED ALONG THE ENTIRE LENGTH OF THE PROPOSED WATER LINE.
- REQUIRED FIRE FLOWS SHALL BE PROVIDED BASED ON THE SIZE AND CONSTRUCTION OF ALL BUILDINGS AS REQUIRED BY THE INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY.
- THE PLACEMENT OF FIRE HYDRANTS SHALL BE PROVIDED BASED ON THE MINIMUM DISTANCE REQUIREMENTS AS ESTABLISHED IN THE INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY (SOOFT FOR RESIDENTIAL DEVELOPMENT AND SOOFT FOR COMMERCIAL DEVELOPMENT). ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO THE INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY.
- THE DRIVEWAY FOR ANY LOT ON THE INSIDE OF A KNUCKLE MUST BE PLACED ALONG THE FRONTAGE FRONT TO THE RIGHT TURN ON THE INSIDE APPROACH LINE TO AVOID SIGHT OBSTRUCTION SAFETY HAZARDS.
- STREET LIGHTING SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CITY OF MISSOURI CITY INFRASTRUCTURE DESIGN MANUAL, CHAPTER 4, STREET LIGHTING AND OUTSIDE UTILITIES. THE INSTALLATION, OPERATION, AND MAINTENANCE OF ORNAMENTAL STREET LIGHTS SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF MISSOURI CITY, EXCEPT AS PROVIDED THEREIN.
- OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF THE DRAINAGE RESERVES AND CHANNELS IS VESTED IN THE SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF LANDSCAPE RESERVES IS VESTED IN THE SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 6.
- OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF THE UTILITIES WITHIN THE SECTIONS IS VESTED IN SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 4. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF THE UTILITIES ALONG BOULEVARDS AND MAJOR THOROUGHFARES IS VESTED IN THE SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 5.
- THIS PLAT IS SUBORDINATED BY U.S. BANK NATIONAL ASSOCIATION D/B/A HOUSING CAPITAL COMPANY, AS RECORDED IN FILE NO. _____ OF THE OFFICIAL RECORDS OF FORT BEND COUNTY, TEXAS.
- THIS PLAT LIES WITHIN LIGHTING ZONE 2.
- THIS PLAT IS SUBJECT TO OVER AND ACROSS EASEMENTS AS SET FORTH BY THE RESTRICTED COVENANTS RECORDED UNDER FILE NO. 201509259, F.B.C.O.R.
- ONE-FOOT RESERVE DEDICATED TO THE CITY IN FEET AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ABUT ADJOINING PROPERTIES, LONGER THAN TWENTY FEET, WHEN THE ADJACENT PROPERTY HAS AN ADJACENT PROPERTY PURSUANT TO A RECORDED PLAT. THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THEREON SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS OR SUCCESSORS.
- U.V.E. INDICATES UNRESTRICTED VESTMENT. FORT BEND COUNTY SHALL BE RESPONSIBLE FOR ENFORCING U.V.E. REQUIREMENTS WITHIN THE PUBLIC RIGHT-OF-WAY AND SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 4. SAID ENFORCE AREAS OUTSIDE OF RIGHT-OF-WAY.
- SITE PLANS SHALL BE SUBMITTED TO FORT BEND COUNTY AND ANY OTHER APPLICABLE JURISDICTION FOR REVIEW AND APPROVAL. DEVELOPMENT PERMITS AND ALL OTHER APPLICABLE PERMITS SHALL BE OBTAINED FROM FORT BEND COUNTY PRIOR TO BEGINNING CONSTRUCTION.



VICINITY MAP
SCALE: 1"=1/2 MILE
KEY MAP NO. 650T

I, RICHARD W. STOLLER, FORT BEND COUNTY ENGINEER, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE FORT BEND COUNTY COMMISSIONERS' COURT. HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON THE INTERSECTING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OR SUBDIVISION WITHIN THE WATERSHED.

RICHARD W. STOLLER, P.E.
FORT BEND COUNTY ENGINEER

APPROVED BY THE COMMISSIONERS' COURT OF FORT BEND COUNTY, TEXAS.
THIS _____ DAY OF _____ 2018.

VINCENT M. MORALES, JR.
PRECINCT 1, COUNTY COMMISSIONER
GRADY PRESTAGE
PRECINCT 2, COUNTY COMMISSIONER
JAMES PATTERSON
PRECINCT 4, COUNTY COMMISSIONER
W. A. (ANDY) MEYERS
PRECINCT 3, COUNTY COMMISSIONER

I, LAURA RICHARD, COUNTY CLERK IN AND FOR FORT BEND COUNTY, HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDATION IN MY OFFICE ON _____, 2018 AT _____ O'CLOCK _____ M. IN PLAT NUMBER _____ OF THE PLAT RECORDS OF FORT BEND COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE, AT RICHMOND, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

LAURA RICHARD, COUNTY CLERK
FORT BEND COUNTY, TEXAS

BY: DEPUTY



GBI PARTNERS, L.P.
LAND SURVEYING CONSULTANTS
13340 S. GENSSEY RD. - MISSOURI CITY, TX 77489
PHONE: 281-499-4539 www.gbsurvey.com
TBPLS FIRM # 10130300

JON P. BORODOVSKY, R.P.L.S.,
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6405

ENGINEER:
LJA Engineering, Inc.
1904 W. Grand Parkway North
Suite 100
Katy, Texas 77449
Phone 713.953.5200
Fax 713.953.9028
FON 87-1386

AMANDA CARRAGE
LICENSED PROFESSIONAL ENGINEER,
TEXAS REGISTRATION NO. 105912

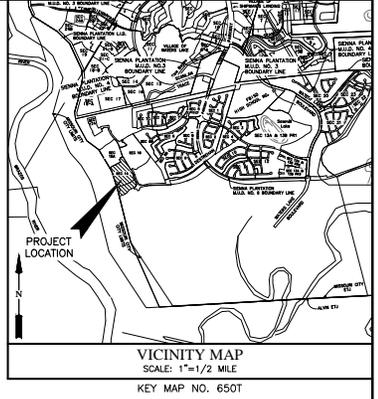
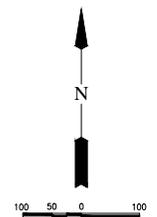
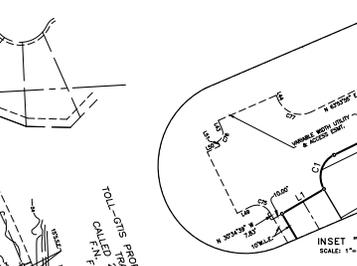
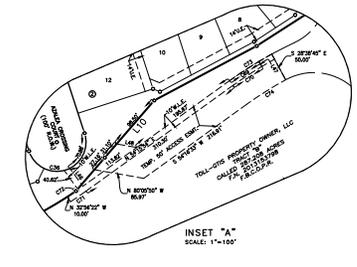
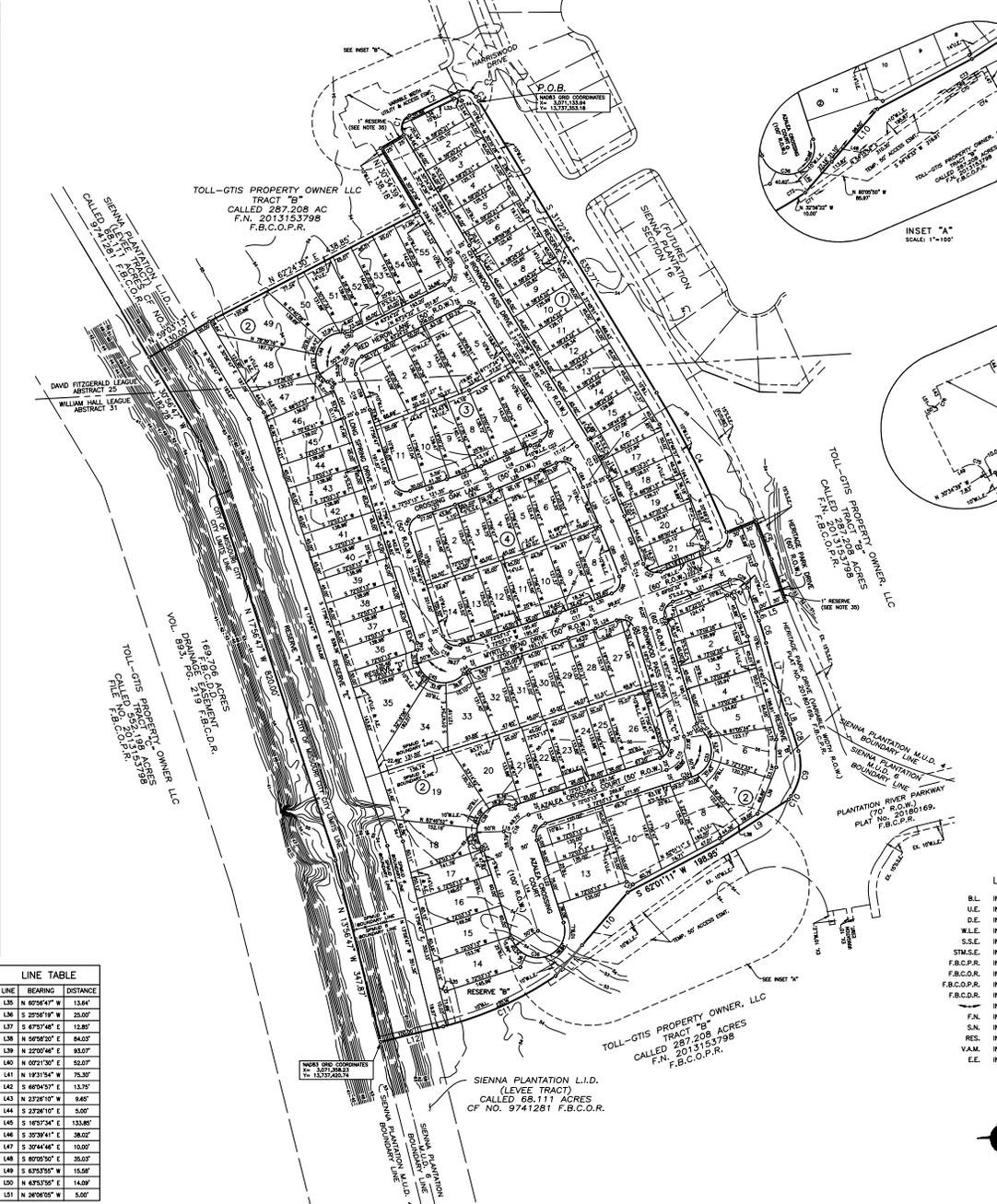
**SIENNA PLANTATION
SECTION 14**
A SUBDIVISION OF 27,144 ACRES OF LAND SITUATED IN THE
DAVID FITZGERALD LEAGUE, ABSTRACT 25, AND IN THE WILLIAM HALL
LEAGUE, ABSTRACT 31, FORT BEND COUNTY, TEXAS.
101 LOTS 6 RESERVES (5,992 ACRES) 4 BLOCKS
JULY 16, 2018 JOB NO. 1414-1514P
OWNERS:
TOLL-GTIS PROPERTY OWNER, LLC
JIMMIE F. JENKINS, AUTHORIZED REPRESENTATIVE
10110 WEST SAM HOUSTON PARKWAY NORTH, SUITE 210, HOUSTON, TEXAS 77064
PH. (281) 894-8655
SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT
KEN BECKMAN, PRESIDENT
202 CENTURY SQUARE BLVD., SUGAR LAND, TEXAS 77478
PH. (281) 500-6050

Plot Name : C:\Program\AutoCAD\114141514P.dwg Plot Section : 14.dwg

CURVE TABLE

CURVE	RADIUS	DELTA	ARC	CHORD	CHORD BEARING
C1	25.00	8428'30"	41.22	36.71	N 1839'38" E
C2	25.00	8028'30"	37.50	33.82	S 7731'30" E
C3	700.00	0405'11"	4.34	4.34	S 3100'01" E
C4	1770.00	0222'30"	286.17	286.83	S 2841'10" E
C5	1830.00	222'30"	78.51	78.50	S 2045'38" E
C6	605.00	430'30"	43.50	43.54	S 1727'58" E
C7	605.00	430'30"	43.50	43.54	S 1727'58" E
C8	780.00	295'30"	52.37	52.30	S 1735'58" E
C9	1000.00	202'30"	81.57	84.82	S 0202'14" E
C10	1000.00	410'30"	7.56	7.56	S 3232'50" W
C11	642.00	202'30"	230.17	228.34	S 60'45" W
C12	1800.00	100'30"	31.92	31.92	S 3105'50" E
C13	500.00	85'31"	74.88	74.81	N 27'18" W
C14	600.00	40'31"	211.21	211.21	N 89'59" W
C15	50.00	89'02" W	77.48	75.10	N 27'32'50" E
C16	50.00	89'02'50"	78.54	70.71	S 27'03'12" E
C17	1000.00	300'42"	62.56	62.56	N 70'32'50" E
C18	50.00	89'00'00"	78.54	70.71	S 62'56'41" E
C19	50.00	705'48"	68.12	68.09	N 27'32'40" W
C20	50.00	802'30"	77.18	69.73	S 19'05'44" W
C21	450.00	95'00"	70.79	70.72	N 69'31'13" E
C22	450.00	94'83" W	77.08	76.39	N 62'54'41" E
C23	1800.00	222'30"	77.22	77.21	N 20'45'38" W
C24	1770.00	100'30"	31.48	31.48	S 3105'50" E
C25	50.00	89'00'00"	78.52	78.52	S 27'18'12" E
C26	2000.00	242'30"	85.71	85.70	S 21'38'12" E
C27	25.00	602'30" W	39.50	39.50	S 69'32'53" E
C28	25.00	610'15" W	39.72	35.47	N 23'31'34" E
C29	25.00	612'34" W	39.89	35.79	N 60'14'41" W
C30	25.00	601'48" W	37.60	34.79	S 29'54'50" W
C31	2000.00	214'30"	81.84	81.84	S 17'00'14" E
C32	25.00	335'54" W	14.82	14.80	S 33'56'34" E
C33	50.00	134'47'54"	117.43	92.32	S 16'28'30" W
C34	25.00	1148'23"	5.16	5.12	S 77'37'50" W
C35	25.00	890'00'00"	39.27	35.36	S 27'03'12" W
C36	50.00	890'00'00"	103.98	100.00	S 27'03'12" W
C37	25.00	1402'34" W	7.00	7.07	N 26'25'13" E
C38	50.00	1361'41'00"	118.89	92.80	N 32'12'40" E
C39	25.00	2816'38" W	12.77	12.84	N 88'41'31" E
C40	25.00	890'04" W	38.84	35.02	N 27'32'50" W
C41	1930.00	0123'30"	7.28	7.28	N 17'04'50" W
C42	25.00	824'70" W	40.82	36.00	N 40'52'14" E
C43	1000.00	300'42"	53.88	53.87	S 70'32'53" E
C44	25.00	3010'03" W	13.20	13.00	S 58'55'42" W
C45	50.00	1050'48" W	131.71	96.80	N 62'43'50" W
C46	25.00	3040'48" W	13.39	13.32	N 02'30'24" W
C47	500.00	240'30"	61.18	61.12	N 62'30'24" W
C48	25.00	3120'48" W	13.72	13.06	N 02'30'24" W
C49	50.00	1050'48" W	131.58	96.77	N 18'19'32" E
C50	25.00	3118'18" W	13.48	13.49	N 79'03'30" E
C51	25.00	842'30" W	41.21	36.70	N 18'05'31" E
C52	1800.00	022'48"	147.78	147.78	N 30'48'34" W
C53	25.00	892'30" W	39.27	34.87	N 27'03'12" E
C54	25.00	890'00'00"	37.09	33.78	S 74'00'38" E
C55	25.00	894'70" W	41.79	37.09	S 16'17'53" E
C56	425.00	247'48"	20.70	20.70	S 60'30'18" W
C57	775.00	030'00"	68.33	68.51	S 69'31'12" W
C58	25.00	890'00'00"	39.27	35.28	N 62'56'41" W
C59	25.00	720'48"	71.02	71.17	N 27'06'41" W
C60	25.00	890'00'00"	39.27	35.36	N 27'03'12" E
C61	825.00	030'00"	72.86	72.83	N 69'31'12" E
C62	475.00	340'34" W	31.77	31.76	N 63'54'14" E
C63	25.00	891'48" W	38.94	35.12	S 77'37'50" E
C64	475.00	420'48"	36.12	36.10	S 27'18'12" E
C65	1930.00	232'18"	96.56	96.50	S 21'34'58" W
C66	25.00	891'03" W	38.91	35.10	S 24'27'31" W
C67	875.00	300'42"	61.20	61.24	S 70'32'53" E
C68	25.00	890'00'00"	39.27	35.36	N 62'56'41" W
C69	892.00	490'18"	60.22	60.20	N 89'49'58" E
C70	892.00	470'18"	58.30	58.33	S 56'42'38" E
C71	692.00	247'34" W	31.78	31.78	S 50'39'51" W
C72	642.00	024'18"	4.54	4.54	N 59'18'39" E
C73	892.00	700'11"	65.56	65.53	N 57'48'39" E
C74	642.00	700'11"	79.40	79.20	S 57'48'39" W
C75	16.00	892'30" W	22.30	20.37	N 72'02'01" E
C76	10.00	872'00" W	15.24	13.81	N 87'32'52" E
C77	25.00	823'34" W	40.43	36.17	S 49'44'50" E

LINE BEARING	DISTANCE	LINE BEARING	DISTANCE	LINE BEARING	DISTANCE			
L1	N 29'22'11" E	50.00'	L31	S 23'02'47" E	79.57'	L61	N 07'56'47" W	13.64'
L2	S 27'03'12" E	101.81'	L32	N 89'02'32" E	118.13'	L62	S 29'54'14" W	26.00'
L3	N 69'02'32" E	60.00'	L33	N 19'31'34" W	47.80'	L63	S 67'30'44" E	12.80'
L4	S 19'31'34" E	83.10'	L34	S 69'02'32" E	113.79'	L64	N 50'39'51" E	84.03'
L5	S 70'28'58" W	60.00'	L35	S 17'56'47" E	161.06'	L65	N 22'06'44" E	93.07'
L6	S 19'31'34" E	16.87'	L36	S 17'56'47" E	173.77'	L66	N 02'31'50" E	52.07'
L7	S 22'02'51" E	16.21'	L37	S 49'02'32" E	41.81'	L67	N 19'31'34" W	76.20'
L8	S 19'31'34" E	18.88'	L38	S 46'58'32" E	98.30'	L68	S 56'42'38" E	13.22'
L9	S 57'17'14" W	141.80'	L39	S 72'03'12" E	71.30'	L69	S 50'39'51" W	9.86'
L10	S 40'47'32" W	128.60'	L40	N 72'03'12" E	71.30'	L70	S 23'06'10" E	5.00'
L11	S 40'47'32" W	75.72'	L41	N 69'50'13" E	99.10'	L71	S 19'31'34" E	133.80'
L12	S 70'03'10" W	118.97'	L42	S 23'02'47" E	79.57'	L72	S 30'39'41" E	38.02'
L13	S 27'03'12" E	79.57'	L43	S 49'02'32" E	50.80'	L73	S 57'48'39" E	10.00'
L14	S 17'56'47" E	161.06'	L44	N 89'02'32" E	110.13'	L74	N 89'00'00" E	35.02'
L15	N 74'57'10" W	13.50'	L45	N 24'08'34" E	14.16'	L75	S 63'53'50" W	16.58'
L16	N 69'50'13" E	99.10'	L46	S 73'20'48" E	14.70'	L76	N 63'53'50" E	14.09'
L17	S 19'31'34" E	83.10'	L47	N 87'52'42" E	107.61'	L77	N 28'06'10" W	5.00'



RESERVE	ACREAGE	SQ. FT.	TYPE	MAINTENANCE/OWNERSHIP
A	0.714	31,092	RESTRICTED TO LANDSCAPE	SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 5
B	0.993	43,267	RESTRICTED TO LANDSCAPE	SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 5
C	0.108	4,685	RESTRICTED TO LANDSCAPE	SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 5
D	0.090	3,913	RESTRICTED TO DRAINAGE	SIENNA PLANTATION MUNICIPAL UTILITY DISTRICT NO. 4
E	0.953	41,531	RESTRICTED TO DRAINAGE	SIENNA PLANTATION LEVEL IMPROVEMENT DISTRICT
F	1.134	136,504	RESTRICTED TO LEVEE	SIENNA PLANTATION LEVEL IMPROVEMENT DISTRICT
TOTAL	5.992	260,982		

- LEGEND**
- BL. INDICATES BUILDING LINE
 - UL. INDICATES UTILITY EASEMENT
 - D.E. INDICATES DRAINAGE EASEMENT
 - W.L.E. INDICATES WATER LINE EASEMENT
 - S.S.E. INDICATES SANITARY SEWER EASEMENT
 - S.M.S.E. INDICATES STORM SEWER EASEMENT
 - F.B.C.P.R. INDICATES FORT BEND COUNTY PLAT RECORDS
 - F.B.C.O.R. INDICATES FORT BEND COUNTY OFFICIAL RECORDS
 - F.B.C.P.R. INDICATES FORT BEND COUNTY OFFICIAL PUBLIC RECORDS
 - F.B.C.O.R. INDICATES FORT BEND COUNTY OFFICIAL PUBLIC RECORDS
 - INDICATES STREET NAME CHANGE
 - F.N. INDICATES FILE NUMBER
 - S.N. INDICATES SEE NOTE
 - RES. INDICATES RESERVE
 - V.A.M. INDICATES VISIBILITY ACCESS & MAINTENANCE EASEMENT
 - E.E. INDICATES ELECTRICAL EASEMENT

SIENNA PLANTATION SECTION 14

A SUBDIVISION OF 27,144 ACRES OF LAND SITUATED IN THE DAVID FITZGERALD LEASUE, ABSTRACT 25, AND IN THE WILLIAM HALL LEASUE, ABSTRACT 31, FORT BEND COUNTY, TEXAS.

101 LOTS 6 RESERVES (5,992 ACRES) 4 BLOCKS
 JULY 16, 2018 JOB NO. 1414-1514P

OWNERS:
 TOLL-GTIS PROPERTY OWNER, L.L.C.
 JIMMIE F. JENKINS, AUTHORIZED REPRESENTATIVE
 10110 WEST SAM HOUSTON PARKWAY NORTH, SUITE 210, HOUSTON, TEXAS 77064
 PH. (281) 894-8655

SIENNA PLANTATION LEVEE IMPROVEMENT DISTRICT
 KEN BECKMAN, PRESIDENT
 202 CENTURY SQUARE BLVD., SUGAR LAND, TEXAS 77478
 PH. (281) 500-6050

SURVEYORS:

GBI PARTNERS, L.P.
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 13340 S. GESSNER RD. - MISSOURI CITY, TX 77489
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 TEXAS REGISTRATION NO. 6405

ENGINEER:

LJA Engineering, Inc.
 1904 W. Grand Parkway North
 Suite 100
 Katy, Texas 77449

AMANDA CARRAGE
 LICENSED PROFESSIONAL ENGINEER
 TEXAS REGISTRATION NO. 105912



**PLANNING AND ZONING COMMISSION
STAFF REPORT**

AGENDA DATE: August 8, 2018

AGENDA ITEM SUBJECT: River Pointe Church Missouri City – SUP #197
Amendment

AGENDA ITEM NUMBER: 7.A.

PROJECT PLANNER: Thomas K. White Jr., Planner II

APPROVAL:  Otis T. Spriggs, AICP, Director, Development
Services

PERMIT NUMBER: SUP1800002

PROPERTY ID: 0077-00-000-1425-907

LOCATION: The subject site is located north of Knights Court,
south of Colony Lakes, east of Elkins High School
and west of the center at Knights Court Shopping
Center.

RECOMMENDED ACTION:

The proposal complies with the provisions of the Comprehensive Plan and does not affect the policies of the Future Land Use Map.

The Planning and Zoning Commission should adopt this as its Final Report and forward it to City Council with a **positive recommendation** for consideration and adoption thereof.

SCHEDULED FIRST READING BY THE CITY COUNCIL:

7:00 p.m., Tuesday, September 4, 2018

Revised submittals due prior to August 20, 2018. Any revised documents and exhibits required as a result of recommendations made by the Planning and Zoning Commission, must be submitted no later than 10:00 a.m. on **August 20, 2018**, which is

prior to the deadline for submittals to the City Council for their September 4, 2018, meeting.

SUMMARY:

River Pointe Church was founded in December 1996 with five families and has since grown with over 4,000 members and worship services conducted at three locations – Richmond, Houston and Missouri City. After operating from school auditoriums in its early years, River Pointe Church moved into a permanent campus in Richmond in 1995. Worship services have been held at the Missouri City location at Elkins High School.

In 2015, Ordinance O-15-62 pertaining to SUP, Specific Use Permit #197 was approved to allow for the church to construct its permanent campus just adjacent to the Elkins High School campus. Ordinance O-15-62 allowed for the place of assembly as well as certain architectural, landscaping and sign regulations that took into consideration the significant portion of the site that would be encumbered for drainage and detention purposes.

Construction on the Missouri City campus is now underway, beginning in April 2018.

The applicant has submitted this request to allow for certain deviations from the city's architectural design standards in the future construction of a fellowship pavilion to be located on the campus.

GENERAL SITE INFORMATION:

A. Legal Description:

The subject site is described as being all of Reserve A, River Pointe Community Church Missouri City, filed and recorded as instrument number 20180010, official Public Records of Fort Bend County.

B. Size: 18.9002 acres

C. Existing Land Use and Zoning Designation: Church campus
under construction / SD, suburban district; SUP #197

D. Surrounding Land Uses and Zoning Designations:

North: Colony Lakes Subdivision / R-2, single family district

South: Olympia Gymnastics and Tumbling (under construction) / LC-3, retail district; PD #99

East: Knights Court Shopping Center / LC-3, retail district

West: Elkins High School / SD, Suburban; SUP #112

E. Zoning History:

11-17-1980:	Subject site annexed by the City of Missouri City (Ord.O-80-28).
01-19-1981:	Subject site zoned SD, Suburban District (Ord. O-81-01).
11-16-2015	SUP, Specific Use Permit #197 approved to allow for a place of assembly (Ordinance O-15-62)

ANALYSIS OF SUBJECT SITE:

Except as set forth herein, there are no proposed changes to Ordinance O-15-62, pertaining to SUP #197.

Section 5.II.

A. Architectural design standards. Except as provided herein, no changes are proposed to Ordinance O-15-62.

Section 5.II.A.1. of Ordinance O-15-62 allowed for buildings to be constructed as depicted and described on Exhibit C otherwise, buildings would be subject to the architectural design standards contained in Section 7A.

Exhibit C provides that buildings may be primarily constructed of painted concrete tilt wall, painted plaster, and limestone veneer.

Section 7A.2.C.2 requires: "One hundred percent of exterior walls, excluding windows and doors, shall consist of masonry."

Section 7A.2.C.3 requires: "In addition to the masonry requirements of exterior walls set forth in subsection 7A.2.C.2 above, exterior walls in nonresidential developments shall meet one of the following:

A minimum of 33 percent of each exterior wall located within view of a roadway or driveway used by the general public shall consist of approved primary materials; or

A minimum of 50 percent of all exterior walls, not including windows and doors and not including the rear of buildings not located within view of a roadway or driveway used by the general public, shall consist of the approved primary materials for building and structure exteriors;

Primary materials include brick, stone or architectural masonry units.

The applicant has submitted this request to allow for certain deviations from the city's architectural design standards in the future construction of a fellowship pavilion to be located on the campus.

The fellowship pavilion is proposed to be similar to an area designated as such at the church's main campus in Richmond. The pavilion would be located to the front of the main building and consist of a canopy, standing seam metal covering atop an open seating area. A CMU clad building would be located underneath the canopy to provide for storage and meal cooking and preparation area.

The CMU block is proposed to be salt and pepper in color with the canopy and doors painted a grayish color. Wood stained trim would be used on the canopy columns and deck.

Additionally a 41 foot tall climber decorative art piece is proposed.

Comprehensive Plan: Goal 5 and 5.1 underscore the city's commitment to quality design and community appearance.

Future Land Use Plan: This amendment does not affect the policy recommendations of the Future Land Use Plan.

Staff recommends: Approve the applicant's proposal for the fellowship pavilion and decorative art piece. The design and materials are consistent with the overall campus architectural style.

A. Development schedule. Development of the campus is currently underway.

-----END OF REPORT-----



DEVELOPMENT SERVICES DEPARTMENT
Planning & Development Division
 1522 Texas Parkway
 Missouri City, Texas 77489
 281-403-8600 (Office) ■ 281-208-5551 (Fax)
 www.missouricitytx.gov

APPLICATION FOR:

- Check One:
 SPECIFIC USE PERMIT
 SPECIFIC USE PERMIT AMENDMENT
 PLANNED DEVELOPMENT DISTRICT
 PLANNED DEVELOPMENT DISTRICT AMENDMENT

**SEE EXHIBITS "A" (PAGE 7), "B", AND "C" (PAGE 8)
 FOR INFORMATION REQUIRED FOR COMPLETE APPLICATION SUBMITTAL**

Date of Application:

1. Project Name:	RPC Missouri City Fellowship Pavilion	
2. Address/Location of Property:	7057 Knights Court	Missouri City, TX 77458
3. Applicant's Name:	Dean King, Executive Pastor - River Pointe Community Church	
Mailing Address:	5000 Ransom Road	Richmond, TX 77469
Phone No. :(281) 277 - 6767		
Email:	deank@riverpointe.org	
4. Status of Applicant:	<input checked="" type="radio"/> Owner	<input type="radio"/> Agent <input type="radio"/> Attorney <input type="radio"/> Trustee <input type="radio"/> Corporation <input type="radio"/> Relative
(If other than Owner, submit written authorization from Owner with application.)		
5. Property Owner:	River Pointe Community Church	
Mailing Address:	5000 Ransom Road	Richmond, TX 77469
Phone No.:(281) 277 - 6767		
Email:	deank@riverpointe.org	
6. Existing Zoning District:	Suburban District	
7. Total Acreage:	18.9002 acres	
8. Proposed Development and Reasons for Application:	Proposed development to include a fellowship pavilion for church events. SUP sought for event use and material standards variance.	
9. Legal Description of the Property (If the legal description is a portion of a lot, then a metes and bound description of the tract must be submitted with application.):	0077 E ROARK, ACRES 18.9002, River Pointe Church Missouri City, Restricted Reserve "A" (Non-Residential Use)	
10. Central Appraisal District tax identification numbers of property (Attach Paid Tax Receipts):	0077-00-000-1425-907	
11. Do deed restrictions or restrictive covenants exist for the property? (Circle One):	YES	<input checked="" type="radio"/> NO
(If yes, submit with application.)		
12. Does this application include an Architectural Design Review: (Circle One):	<input checked="" type="radio"/> YES	NO
(If yes, see page 8, Exhibit C for materials required to be submitted.)		
FILING FEE: \$1,200.00		

Hand deliver completed application form with the filing fee and required information to:

Development Services Department
1522 Texas Parkway (FM 2234)
Missouri City, TX 77489

By submitting this application you are permitting City staff to enter the site in order to post and remove public notice signs.

Dean King
 Print Name of Applicant
 Signature of Applicant
 Last updated January 2017

River Pointe Church
 Print Name of Property Owner
 City of Missouri City, TX
 Received
 Signature of Property Owner, Agent or Attorney
 1 8 2018

JUL 18 2018

Planning Division

Issue

No. Date Description
1 07/19/18 SUP Application



PROJECT TEAM

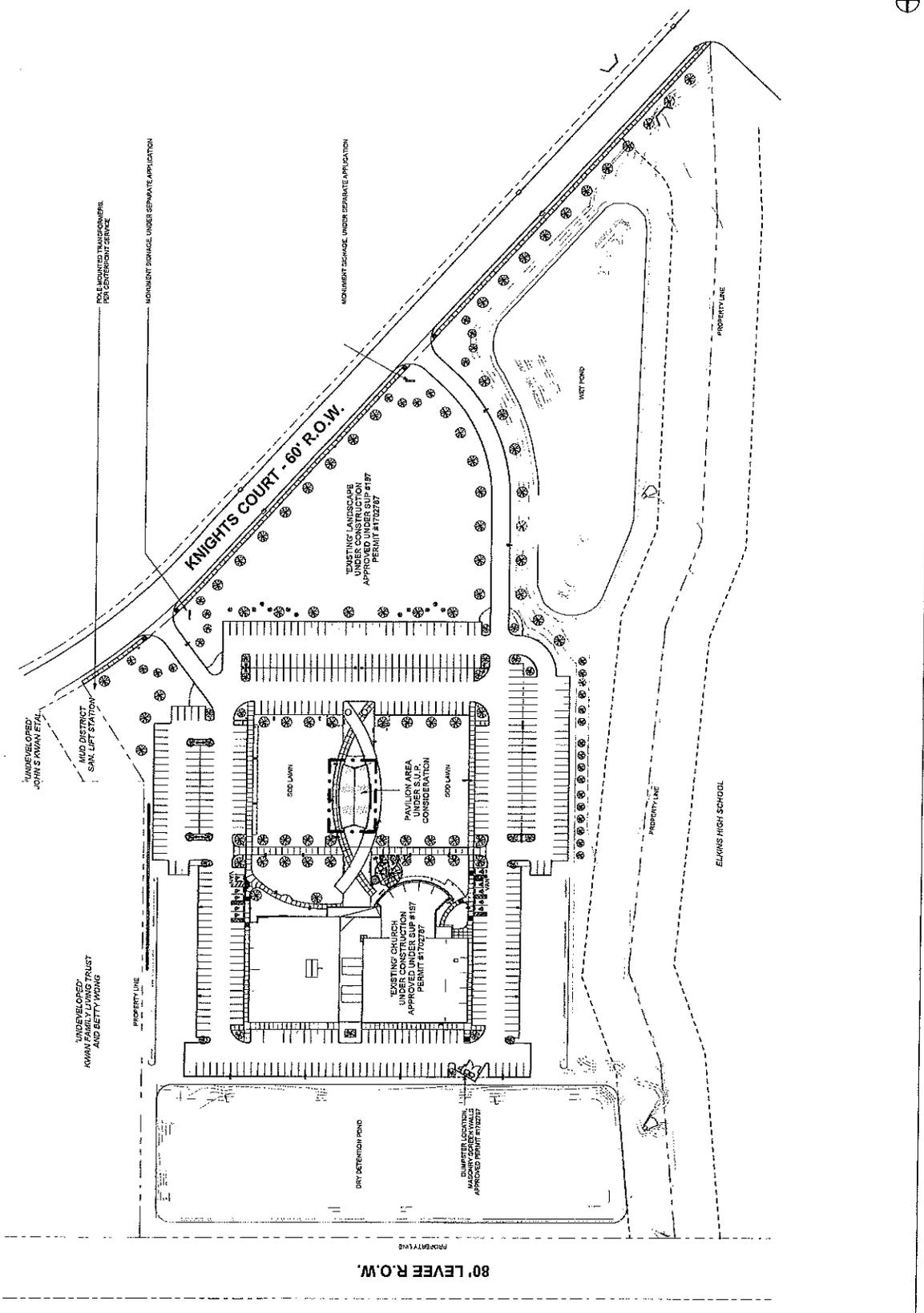
Owner: River Pointe Church
Architect: Studio Red Architects
Civil Engineer: T.E.A.M.
Structural Engineer: M&M
Tree Care/Plant: R&F Plants
Landscape Architect: Red Oak Design Group

KEY PLAN

Project Name: River Pointe Church
Missouri City Campus
Drawing Name: Site Plan

SRA Project Number: 1555
Scale: 1" = 60'-0"
Drawing Number: SUP 0.00

1320 negawan boulevard, suite 77004
www.studioredarchitects.com 713.825.5333



SITE PLAN 1" = 60' 1



Colony Lakes

Fort Bend Community Church

Subject Site:
RPC Missouri City

Center at
Knights Court

Riverstone

Elkins High School

Olympia Gymnastics
and Tumbling

Legend
- City Limits Line.lyr
- RPC Missouri City

1 inch = 1,000 feet



Specific Use Permit Amendment Current Conditions – Site Pictures

SUP #197 – River Pointe Church (Knights Court)

Along Knights Court Rd



Looking north



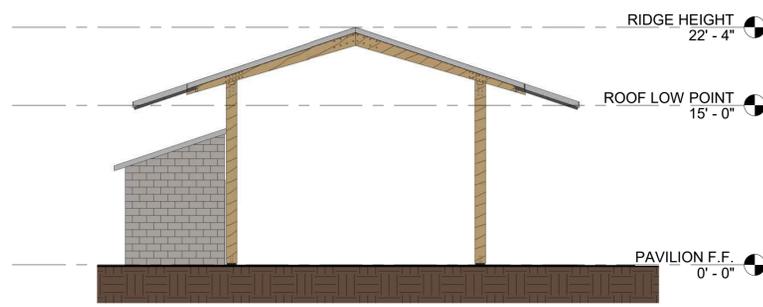
Looking northwest



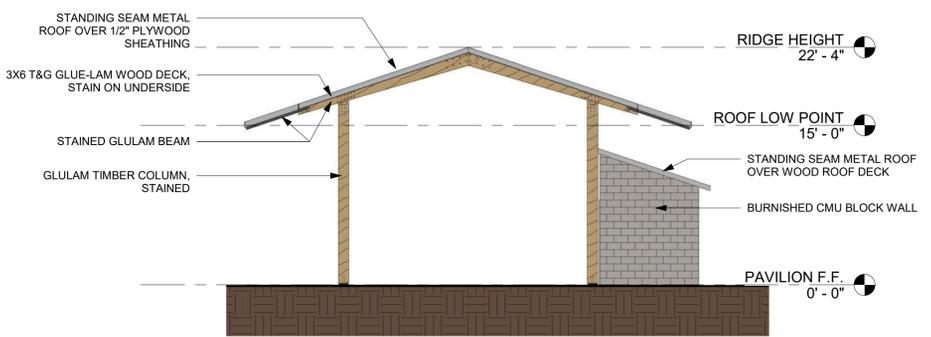
Looking east



Looking west



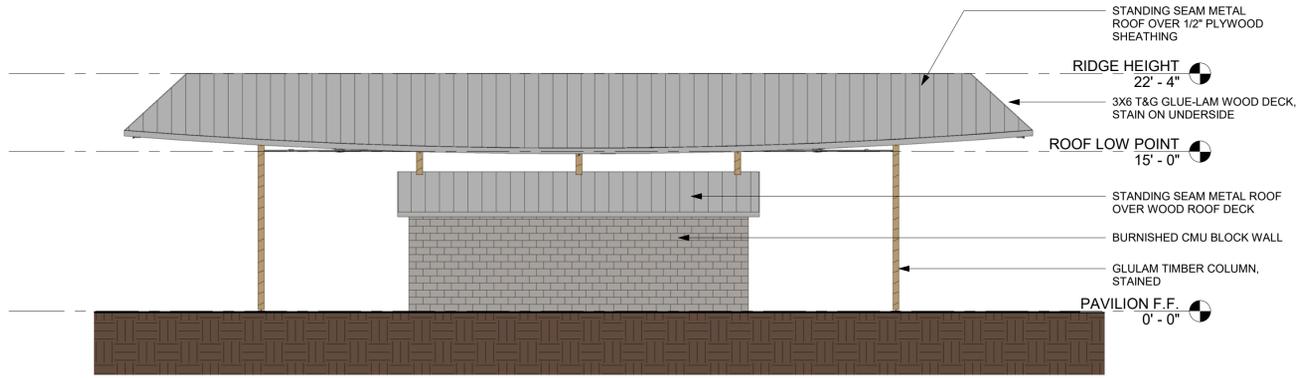
SOUTH ELEVATION 1/8" = 1'-0" 16



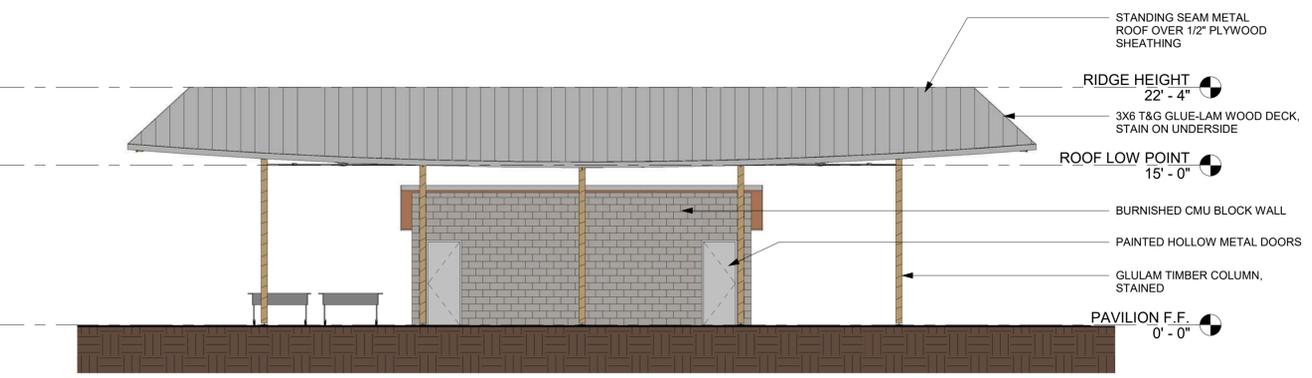
NORTH ELEVATION 1/8" = 1'-0" 08



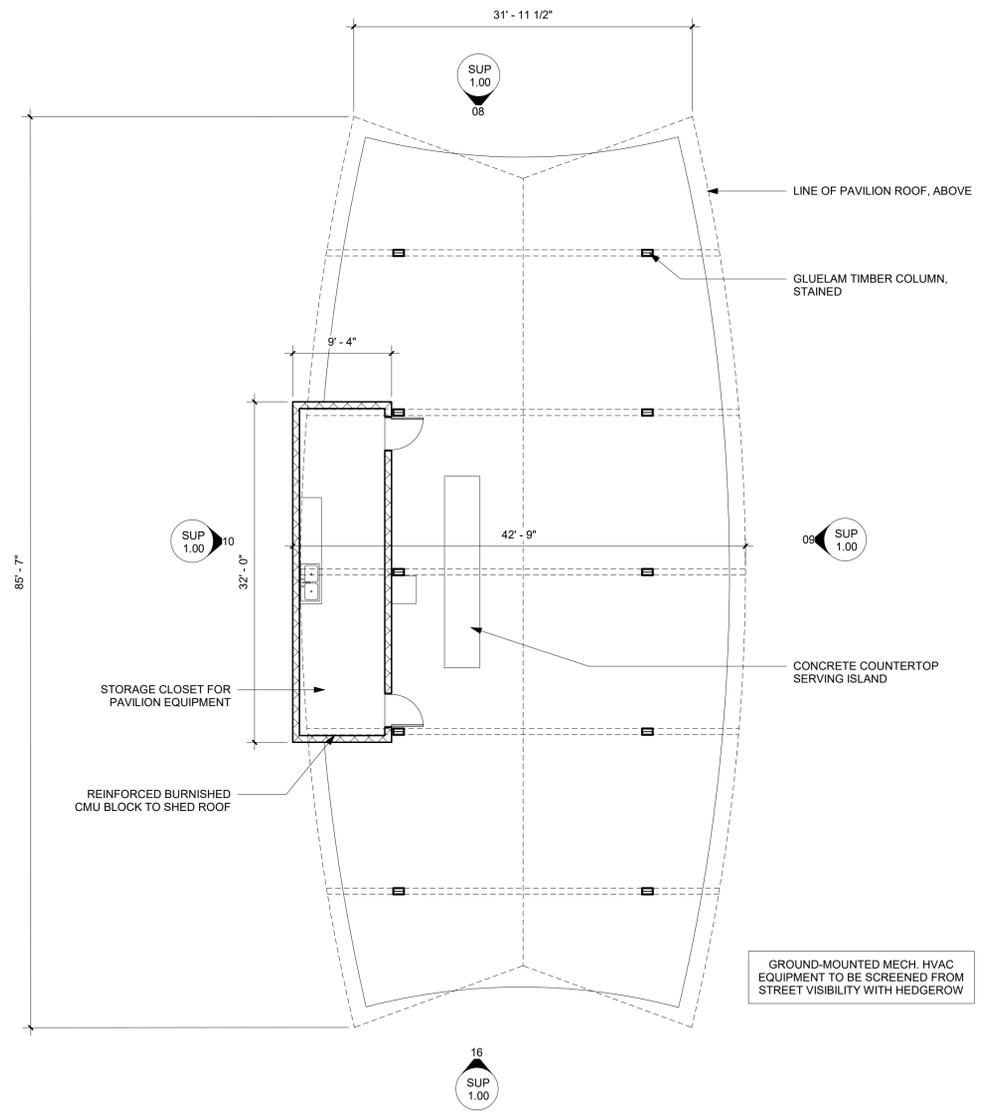
MATERIAL SAMPLES 1/4" = 1'-0" 04



WEST ELEVATION 1/8" = 1'-0" 10



EAST ELEVATION 1/8" = 1'-0" 09



PAVILION PLAN 1/8" = 1'-0" 1

Issue

No.	Date	Description
1	07/18/18	SUP Application



PROJECT TEAM

Owner	River Pointe Church
Architect	Studio Red Architects
Civil Engineer	T.E.A.M.
Structural Engineer	Matrix
Timber Designer	RM Rodgers
Landscape Architect	Red Oak Design Group

KEY PLAN

Project Name
**River Pointe Church
 Missouri City Campus**
 Drawing Name
Elevations

SRA Project Number
1555
 Scale
As indicated
 Drawing Number
SUP 1.00

7/16/2018 5:19:18 PM

JUL 18 2018

Planning Division

No.	Date	Description
1	07/18/18	SUP Application



PROJECT TEAM

Owner	River Pointe Church
Architect	Studio Red Architects
Civil Engineer	T.E.A.M.
Structural Engineer	Matrix
Timber Designer	RM Rodgers
Landscape Architect	Red Oak Design Group

KEY PLAN

Project Name	River Pointe Church Missouri City
Drawing Name	Example Images
SRA Project Number	1555
Scale	12" = 1'-0"
Drawing Number	SUP 2.00



RICHMOND CAMPUS - PAVILION, SAME MATERIALS



RICHMOND CAMPUS - PAVILION, SAME MATERIALS



RICHMOND CAMPUS - PAVILION, SAME MATERIALS



MISSOURI CITY CAMPUS - RENDERING



MISSOURI CITY CAMPUS - RENDERING

7/17/2018 8:52:47 AM

ORDINANCE NO. O-15-62

AN ORDINANCE OF THE CITY OF MISSOURI CITY, TEXAS, GRANTING A SPECIFIC USE PERMIT AUTHORIZING THE USE OF AN 18.90-ACRE TRACT OF LAND IN THE CITY OF MISSOURI CITY AS A SPECIFIC USE-PLACES OF ASSEMBLY; DESCRIBING SAID 18.90-ACRE TRACT OF LAND; PROVIDING LIMITATIONS, RESTRICTIONS, AND CONDITIONS ON SUCH SPECIFIC USE; REFERENCING A SITE PLAN; PROVIDING FOR CERTAIN CONSTRUCTION ACCORDING TO SAID PLAN; AMENDING THE ZONING DISTRICT MAP OF THE CITY OF MISSOURI CITY; PROVIDING FOR AN AMENDMENT TO THE COMPREHENSIVE PLAN; PROVIDING FOR REPEAL; PROVIDING A PENALTY; PROVIDING FOR SEVERABILITY; AND CONTAINING OTHER PROVISIONS RELATING TO THE SUBJECT.

* * * * *

WHEREAS, Amanda Wood is the owner of an 18.90-acre tract of land within the corporate limits of the City of Missouri City, Texas (the "Property"); and

WHEREAS, said Property presently has a zoning classification of SD suburban district under Ordinance No. O-81-1, adopted on January 19, 1981; and

WHEREAS, the owner's agent, Dean King of River Pointe Church, has made application to the City of Missouri City for a specific use permit authorizing the use of said Property as a Specific Use-Places of Assembly; and

WHEREAS, the Planning and Zoning Commission and the City Council of the City of Missouri City have each conducted, in the time and manner and after the notice required by law and the City of Missouri City Zoning Ordinance, a public hearing on such proposed specific use permit; and

WHEREAS, the Planning and Zoning Commission has issued its final report and the City Council of the City of Missouri City now deems it appropriate to grant such requested specific use permit; now therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MISSOURI CITY, TEXAS:

Section 1. The facts and recitations set forth in the preamble of this Ordinance are hereby found to be true and correct.

Section 2. As required by law, the City Council of the City of Missouri City conducted the public hearing on the request to grant a specific use permit and closed the public hearing prior to the final adoption of this Ordinance.

Section 3. The Property is more fully described in the legal description in Exhibit "A," attached hereto and made a part hereof for all purposes, and is depicted in Exhibit "A-

1,” attached hereto and made a part hereof for all purposes. Exhibit “A-1” shall be for reference purposes only. In the event that Exhibit “A-1” conflicts with Exhibit “A,” Exhibit “A” shall prevail.

Section 4. The specific use of the Property authorized and permitted by this Ordinance is Places of Assembly.

Section 5. The specific use authorized and permitted by this Ordinance shall be developed in accordance with the Missouri City Code and the City of Missouri City Zoning Ordinance and shall be developed in accordance with the site plan, Exhibit “B,” attached hereto and made a part hereof for all purposes, and as specifically set forth herein and subject to the following limitations, restrictions, and conditions:

I. **Use Permitted.** The following specific use shall be permitted:

Places of Assembly

II. **Standards and Regulations.**

A. **Architectural Design Standards.** Except as provided herein, the requirements of Section 7A, Architectural Design Standards, of the City of Missouri City Zoning Ordinance shall apply.

1. Buildings may be constructed as depicted and described on Exhibit “C,” Elevations.

B. **Landscaping regulations.** Except as provided herein, the requirements of Section 11, Landscaping, of the City of Missouri City Zoning Ordinance shall apply.

1. The number and location of planting islands and diamonds may be provided as depicted on Exhibit “B”, Site Plan, provided that the requirements of subsection 11.5.A of the City of Missouri City Zoning Ordinance are met.

C. **Sign regulations.** Except as provided herein, the sign regulations for nonresidential districts contained in Section 13, Sign Regulations, of the City of Missouri City Zoning Ordinance shall apply.

1. The requirements of subsection 13.12.G.5 of the City of Missouri City Zoning Ordinance do not apply provided that a monument sign shall be constructed as provided and depicted on Exhibit “D,” Monument Sign.

- D. Trash disposal regulations.** Except as provided herein, the trash disposal regulations contained in Subsection 9.14, Trash disposal regulations, of the City of Missouri City Zoning Ordinance shall apply.
1. The trash disposal regulations for nonresidential zones, specifically LC-3 retail districts, shall apply.
- E. Outside placement, storage, sales and services regulations.** Outside placement, storage, sales, and services are prohibited, except during the place of assembly's festivals and permitted special events.
- F. Development Schedule.** This Ordinance shall expire on the fifth anniversary of the date the first specific use permit application was filed, provided no progress has been made toward the completion of this project.

Section 6. The Zoning District Map of the City of Missouri City shall be revised and amended to show the specific use permitted on said 18.90 acres of land as provided in Section 3 hereof, with the appropriate reference thereon to the number and effective date of this Ordinance and a brief description of the nature of the changes.

Section 7. This Ordinance shall in no manner amend, change, supplement, or revise any provision of any ordinance of the City of Missouri City, Texas, save and except the change in the specific use of the land described in Section 3 hereof authorizing the Specific Use-Places of Assembly and the imposition of the limitations, restrictions, and conditions contained herein.

Section 8. *Comprehensive plan deviation.* To the extent this Ordinance represents any deviation from the Future Land Use and Character map of the City of Missouri City Comprehensive Plan, such map is hereby amended to conform with this Ordinance.

Section 9. *Repeal.* Any ordinance or any part of any other ordinance in conflict herewith shall be and is hereby repealed only to the extent of such conflict.

Section 10. *Penalty.* Any person, firm, partnership, association, corporation, company, or organization of any kind who or which violates any provision of this zoning ordinance shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be fined in an amount not to exceed Five Hundred Dollars (\$500.00). Each day during which said violation shall exist or occur shall constitute a separate offense. The owner or owners of any property or of premises where any violation of this zoning ordinance shall occur, and any agent, contractor, builder, architect, person, or corporation who shall assist in the commission of such offense shall be guilty of a separate offense unless otherwise prohibited by law and, upon conviction thereof, shall be punished as above provided.

Section 11. Severability. In the event any section, paragraph, subdivision, clause, phrase, provision, sentence or part of this Ordinance or the application of the same to any person or circumstance shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Missouri City, Texas, declares that it would have passed each and every part of the same notwithstanding the omission of any such part thus declared to be invalid or unconstitutional, or whether there be one or more parts.

PASSED and APPROVED on first reading this 2nd day of November, 2015.

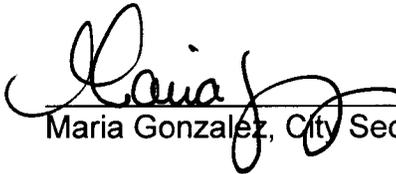
PASSED, APPROVED and ADOPTED on second and final reading this 16th day of November, 2015.



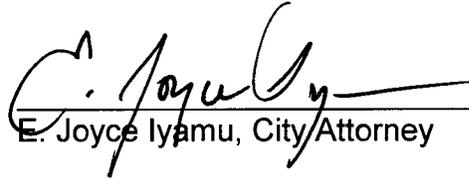
Allen Owen, Mayor

ATTEST:

APPROVED AS TO FORM:



Maria Gonzalez, City Secretary



E. Joyce Iyamu, City Attorney



***18.9002 acres of land in the Elijah Roark League Survey, Abstract No. 77,
Fort Bend County, Texas***

A FIELD NOTE DESCRIPTION of a 18.9002 acre (823,295 square feet) tract of land in the Elijah Roark League Survey, Abstract No. 77, Fort Bend County, Texas; said 18.9002 acre tract being a tract of land conveyed to Amanda H. Wood, as recorded in Fort Bend County Clerk's File No. 2010099143 and also being out of Reserve "C", Herman Hospital Estate Large Acreage Tract Plat, according to the map or plat recorded in Slide No. 1092A of the Fort Bend County Plat Records; said tract being more particularly described by metes-and-bounds as follows with the bearings being based on Texas State Plane Coordinate System, South Central Zone (NAD83) per GPS Observations using National Geodetic Survey Continuously Operating Reference Stations:

BEGINNING at a 5/8-inch rod found in the south right-of-way line of a 80 foot wide Levee for a northeast corner of Reserve B of said Herman Hospital Estate Large Acreage Tract Plat and for a northwest corner of this tract;

THENCE, North 87° 15' 11" East - 707.10 feet with the south of said Levee to a 5/8-inch iron rod found for a northwest corner of a remainder of 13.729 acre tract of land conveyed to Kwan Family Living Trust, as recorded in Fort Bend County Clerk's File No. 2009004785 and for a northeast corner of this tract;

THENCE, South 02° 57' 55" East - 599.14 feet with west line of said 13.729 acre tract to a 5/8-inch iron rod with cap stamped "RPLS 3438" found for the northwest corner of a called 0.1849 acre tract of land conveyed to Fort Bend County Municipal Utility District No. 46, as recorded in Fort Bend County Clerk's File No. 20090017799 and for an angle point of this tract;

THENCE, South 35° 17' 11" East - 152.38 feet with the west line of said 0.1849 acre tract to a 5/8-inch iron rod with cap found in the northeast right-of-way line of Knights Court (60 feet wide) for a southeast corner of this tract;

THENCE, in a southwesterly direction with the southwest right-of-way line of said Knights Court and with a curve to the left having a radius of 830.00 feet, a central angle of 14° 40' 11", a length of 212.51 feet, and a chord bearing South 47° 27' 13" West - 211.93 feet to a 5/8-inch iron rod found for the end of said curve;

THENCE, South 40° 00' 40" West - 968.60 feet with the southwest right-of-way line of said Knights Court to a 5/8-inch iron rod with cap stamped "T.E.A.M." set for an interior corner of said Reserve "B" and for a southwest corner of this tract;

THENCE, North 05° 46' 37" West - 229.34 feet to a 5/8-inch iron rod found for an angle point of this tract;

THENCE, the next 5 calls with the centerline of a 120 foot drainage easement, as recorded in Volume 2381, Page 1613 and in Volume 2398, Page 2063 of the Fort Bend County Deed Records:

- 1.) North 00° 29' 26" West - 425.43 feet;
- 2.) North 19° 25' 59" East - 123.60 feet;
- 3.) North 02° 49' 14" East - 457.14 feet;
- 4.) North 23° 05' 22" West - 128.55 feet; and
- 5.) North 08° 10' 31" West - 231.36 feet to the POINT OF BEGINNING and containing 18.9002 acres (823,295 square feet) of land.

COMPILED BY:
TEXAS ENGINEERING AND MAPPING Co.
Civil Engineers - Land Surveyors
Stafford, Texas
Firm Registration No. 10119000
Job No. 1176-1
W:\1176-1_18.9002-Acres.docx



Brian Nesvadba
Registered Professional Land Surveyor
State of Texas No. 5776



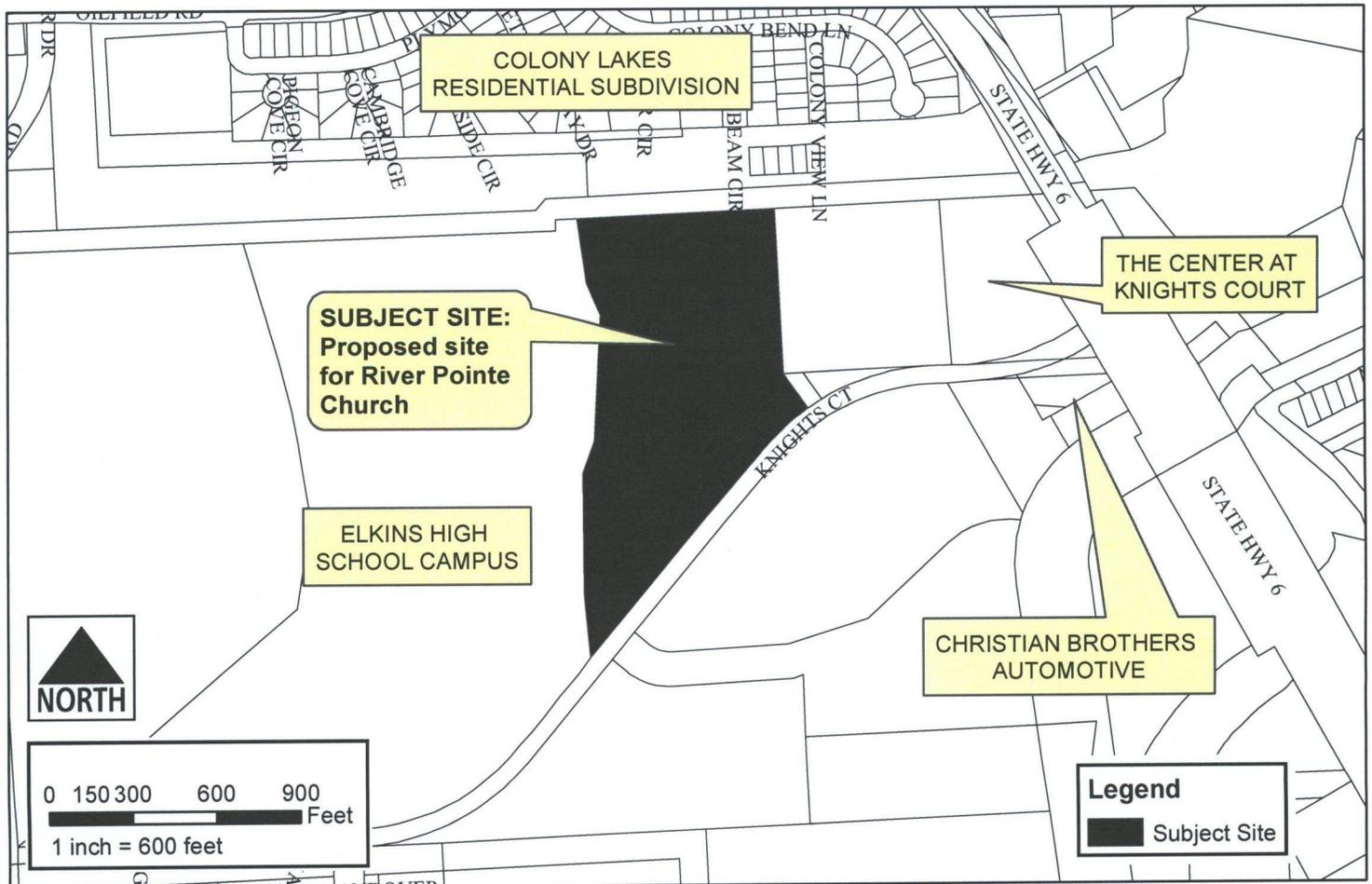
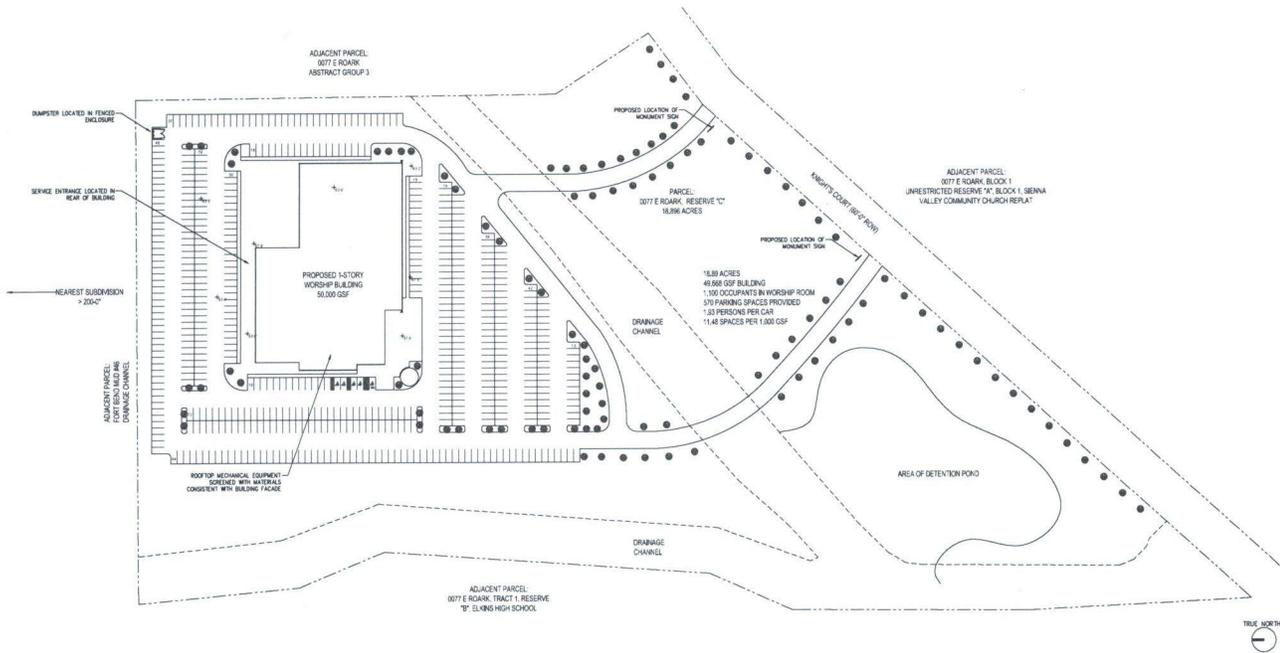


EXHIBIT "B"
 (Page 1 of 1)

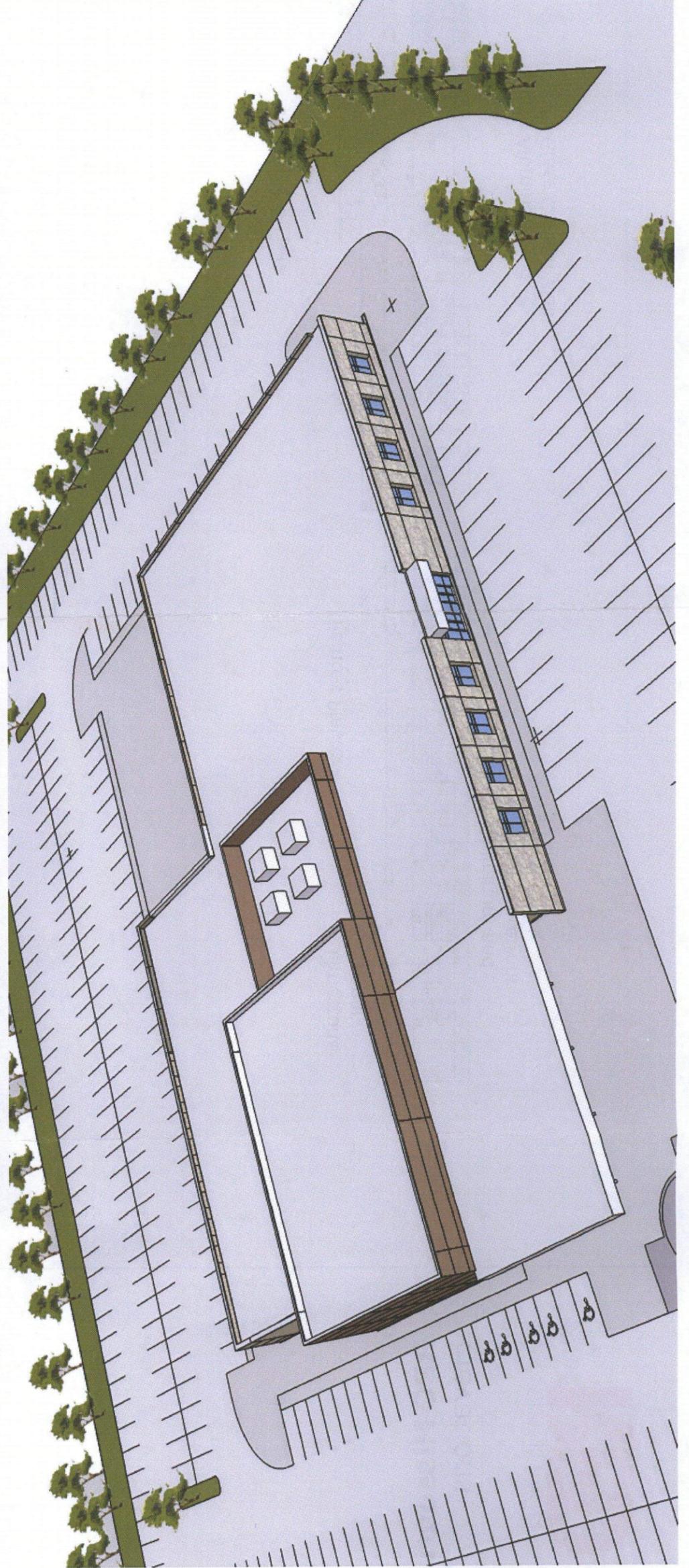
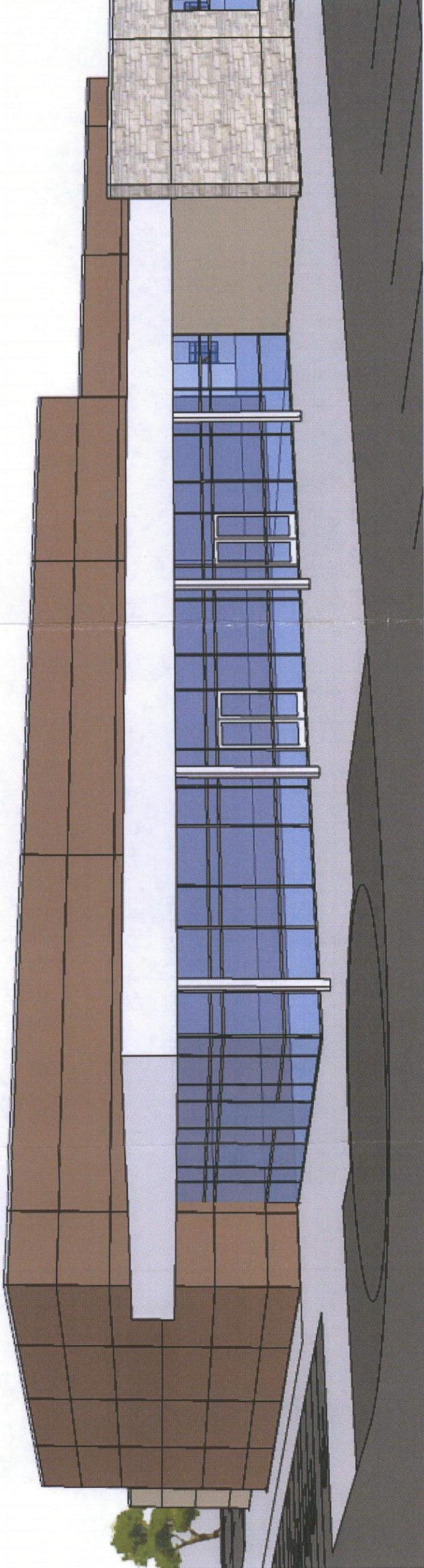


RIVER POINTE CHURCH – MISSOURI CITY CAMPUS
 SEPTEMBER 18, 2015
 CONCEPTUAL SITE PLAN
 SCALE: 1"=60'-0"

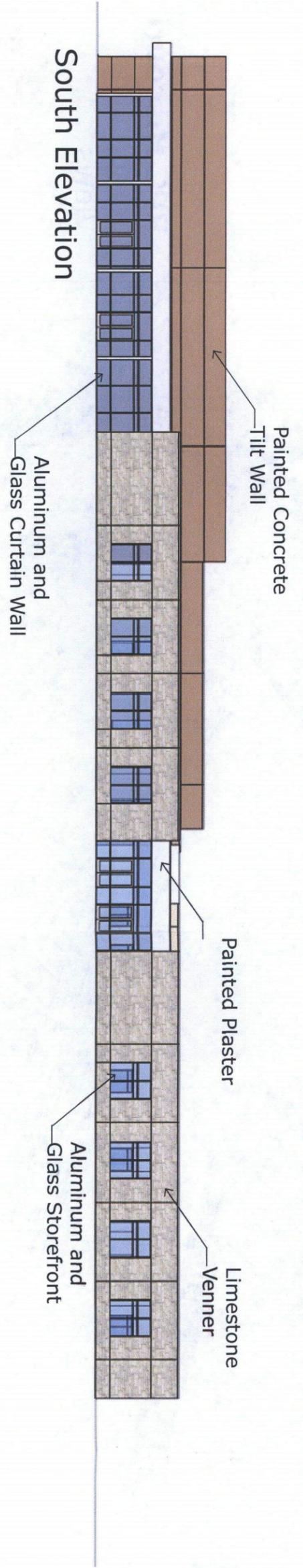
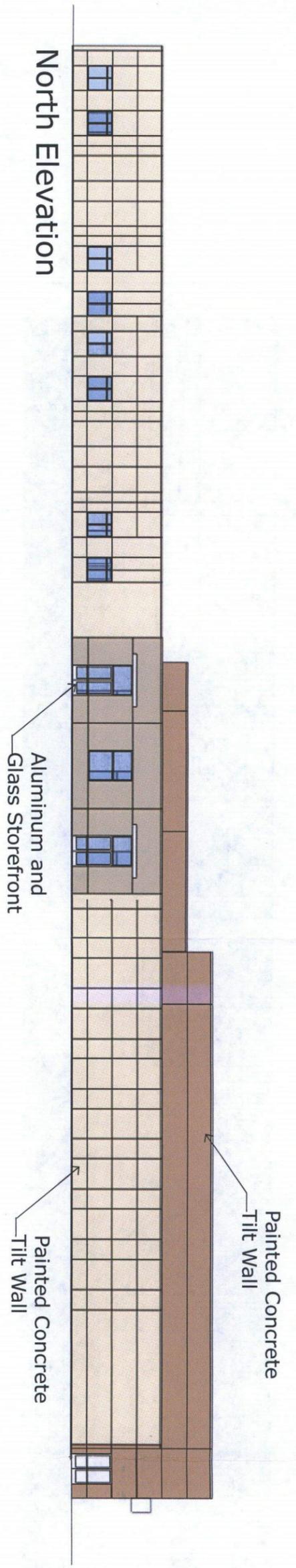
THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND ARE NOT
 INTENDED FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION.

TRUNG H. DOAN
 TX ARCHITECT REG # 18310
 09/18/2015

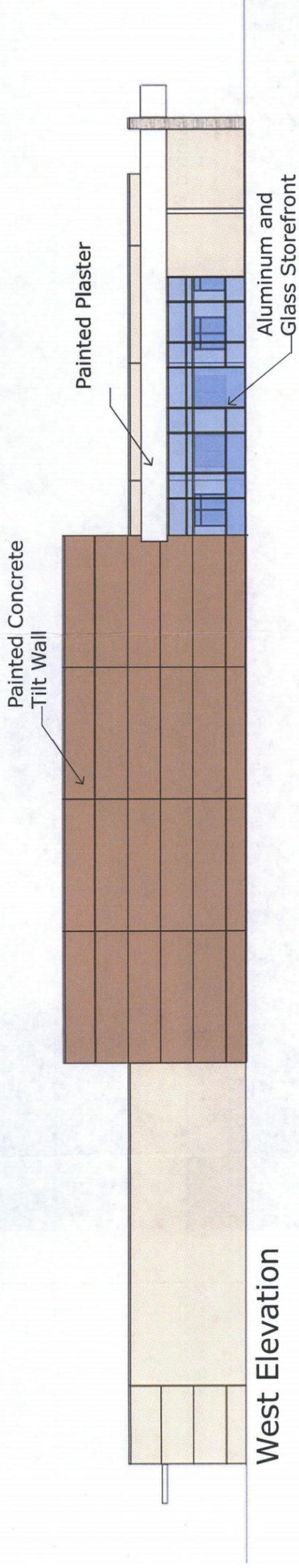




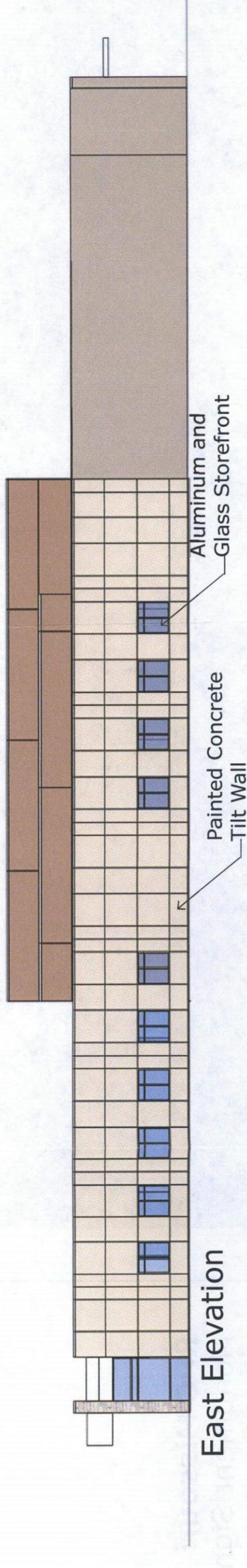
RPC Missouri
Perspective
Views



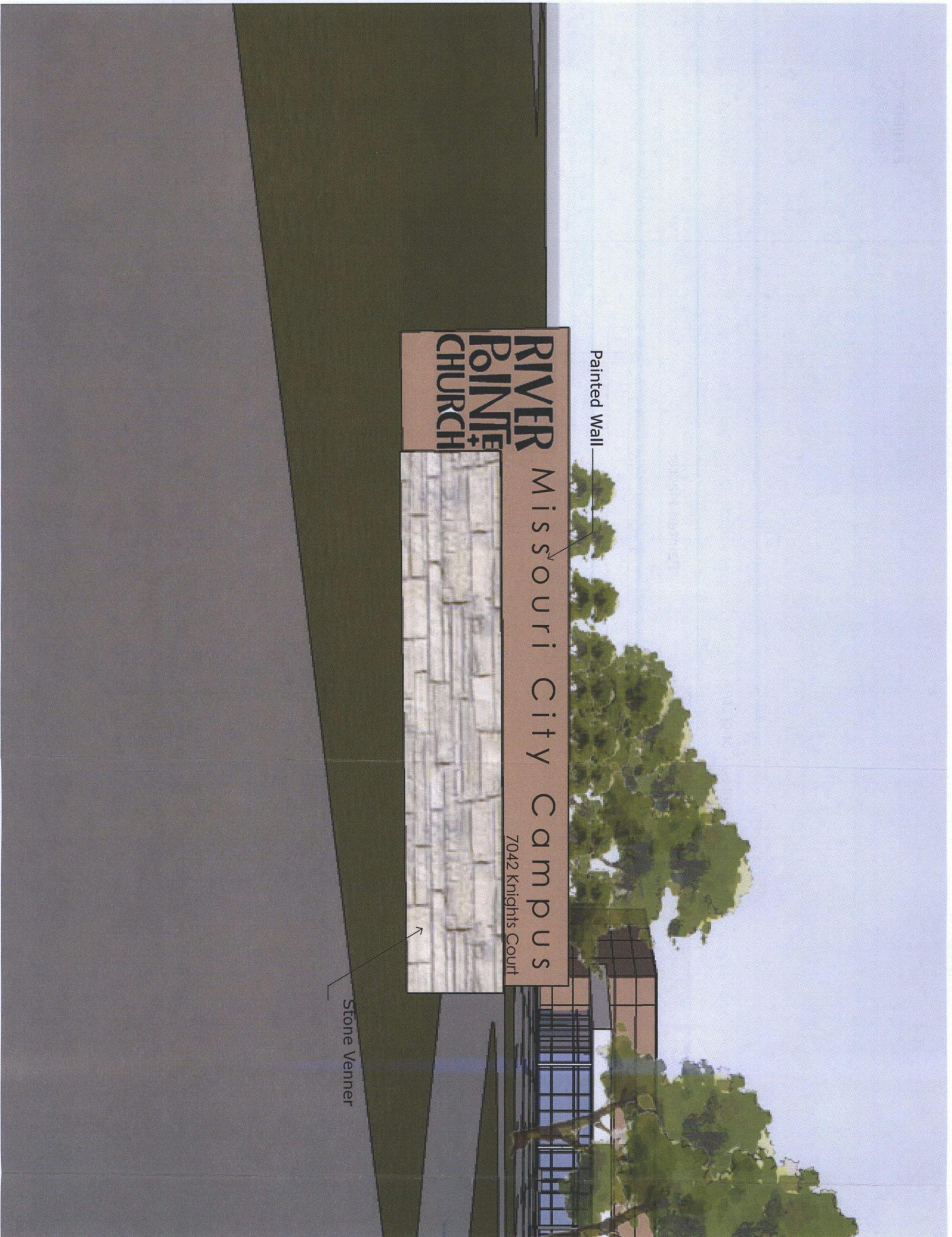
RPC Missouri
Elevations



West Elevation



East Elevation



RPC Missouri
Monument Sign

PUBLISHER'S AFFIDAVIT

THE STATE OF TEXAS

COUNTY OF FORT BEND

Before me, the undersigned authority, on this day personally appeared Seshadri Kumar who being by me duly sworn, deposes and says that he is the publisher of **Fort Bend independent** and that said newspaper meets the requirements of Section 2051.044 of the Texas Government Code, to wit:

1. It devotes not less than twenty-five percent (25%) of its total column lineage to general interest items;
2. It is published at least once each week;
3. It is entered as second-class postal matter in the county where it is published; and
4. It has been published regularly and continuously since 2008.

Publisher further deposes and says that the attached notice was published in said newspaper to wit:

Nov. 25, 2015:

City of Missouri City Ord. 15-61, 15-62 and 15-63



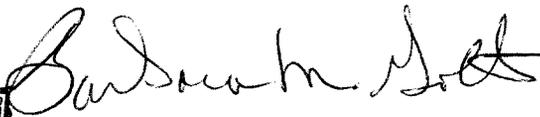
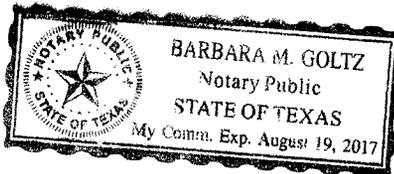
Seshadri Kumar

Publisher

SUBSCRIBED AND SWORN BEFORE ME by Seshadri Kumar who

- (a) Is personally known to me, or
- (b) Provided the following evidence to establish his/ her identity,

On this the 27 day of November, 2015 to certify which witness my hand and seal of office.



Notary Public, State of Texas

FORT BEND REAL ESTATE



Thinking of you and wishing you and yours a harvest of warm memories to share, a circle of smiling faces gathered at your table, and the special blessing of knowing love is there.

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Beard Realty Group



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Competitive!
Action Oriented!
MilneAnita@yahoo.com

Sugar Land-Beewood Glen-4/2.5/2



\$214,500 SOLD

Stafford - Kirkwood - 3/2.5/2



\$118,000 Town Home

Sugar Land-Brush Meadow- 3/2/2+Study



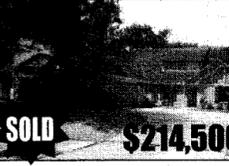
\$205,000 WOW!

Meadows Place - Dorrance - 5/2/2



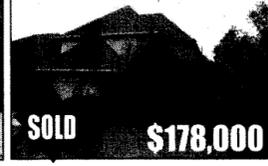
SOLD \$196,500

Richmond - Manor - 4/2.5/2



SOLD \$214,500

Meadows Place-Sturdivant-3/2.5/2



SOLD \$178,000

Legal Notices

NOTICE OF CONSTABLE SALE NOTICE OF LEVY REAL PROPERTY

Under and by virtue of a Writ of Execution and I or Order of Sale issued on the 24th day of September, 2015 by the 400th Judicial District Court of Fort Bend County, Texas in cause # 15-DCV-220681 in favor of the Plaintiff - Fairway Villas Townhomes (Houston) Owners Association, Plaintiff, for the sum of \$3,590.22 +++++costs as taxed on said Execution and I or Order of Sale and further the sum of executing the same. Therefore, on the 15th day of October, 2015, I, Constable Rob Cook of Precinct Three Fort Bend County, have levied on and have seized all rights, title, interest, and claim to which the said Defendant(s) - Yasmin Robinson had of, in, or to the following described real property, and will offer for sale on the 1st day of December, 2015 at 301 Jackson Street (Travis Building, 1st floor), in the city of Richmond, Texas between the hours of 10:00 a.m. and four o'clock p.m., any and all rights, title, interests and claims which the above defendant had of, in, or to the following described real property situated in Fort Bend County, Texas; viz:

LEGAL DESCRIPTION:
LOT 25, BLOCK 1, OF COVENANT CREST, SECTION 1, A SUBDIVISION OF FORT BEND COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED AT PLAT NO. 20060067 IN THE MAP OR PLAT RECORDS OF FORT BEND COUNTY TEXAS, AND MORE COMMONLY KNOWN AS 15038 TRINITY MEADOW DRIVE, MISSOURI CITY, TEXAS 77489 ADJUDGED/MARKET VALUE: \$98,210.00

Property is sold with all encumbrances and liens affixed thereto. All sales are final.
Terms: Cash, Cashier's Check, or Money Order
Sale to be held at or about 10:00 A.M.
ROB COOK
Constable, Precinct 3
Fort Bend County, Texas
By M. Scheibel
Deputy Constable #1331

NOTICE OF SALE OF REAL PROPERTY

STATE OF TEXAS \$
COUNTY OF FORT BEND \$
By virtue of an WRIT OF EXECUTION dated OCT 20, 2015, delivered pursuant to a Judgment issued out of the 250th JUDICIAL District Court of Travis County, Texas, said judgment rendered in favor of **Mandalay Corp DBA Mandalay Bay Resort and Casino**, and in like manner, **Treasure Island Corp**, plaintiff, and against **Hong Liao aka Howard Liao aka Hong Sweil Liao**, defendant, in Cause No. **D-1-GN-08-000291**, for the sum of One Million-Seven Hundred-Fifty-Thousand-Two hundred Ninety Three dollars and 58/100's cents (\$1,750,293.58), plus fees for posting notices, publishing, and all costs of executing sale. I did on the 26th day of Oct, 2015, at 11:00AM, levy upon the following described tract of land in Fort Bend County, Texas, as the property of **Hong Liao aka Howard Liao aka Hong Sweil Liao**, defendant(s), to-wit:

LOT Twenty-One(21), IN BLOCK TWO (2) , OF SWEETWATER SECTION SEVEN (7), A SUBDIVISION IN FORT BEND COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN SLIDE NO. 1543A&B OF THE PLAT RECORDS OF FORT BEND COUNTY, TEXAS, THAT BEING THE SAME PROPERTY CONVEYED TO HOWARD LIAO BY GENERAL WARRANTY DEED DATED MARCH 13, 2013 AND RECORDED FOR RECORD UNDER FILE NO.2013034400 IN THE OFFICIAL RECORDS OF REAL PROPERTY OF FORT BEND COUNTY, TEXAS; and on Dec 1, 2015, being the first Tuesday of said month, between the hours of 10:00 o'clock a.m. and 4:00 o'clock p.m., at 301 JACKSON ST, FORT BEND COUNTY TRAVIS BLDG RICHMOND TX. I will offer for sale and sell at public auction for cash, all the right, title and interest of Hong Liao aka Howard Liao aka Hong Sweil Liao, defendant, in and to said property.

LOCATION: FORT BEND COUNTY TRAVIS BLDG, 301 JACKSON ST 1ST FLR MEETING ROOM, RICHMOND, TX 77469
DATE: DEC 1, 2015
TIME: APPROX. 10:00 AM
BY: SGT M. KUTACH
TREVOR J. NEHLS
Constable Pct. 4
Fort Bend County, Texas

PUBLIC HEARING NOTICE

The Commissioners Court of Fort Bend County, Texas has set a public hearing at 1:00 p.m. on Tuesday, Dec. 15, 2015 for Carriage Landing, Sec. 1, being a replat of a portion of restricted reserve A & B, Blk 1 of Falcon Landing Section 2, Precinct 3. The hearing will be held in the Commissioners Courtroom at 401 Jackson Street, Second Floor, Richmond, Texas. Under state law, you the owner, have certain rights with respect to the proposed replat. Should you wish to exercise your right, you may be heard at the planned public hearing. You may contact Ryan Moeckel with Texas Engineering and Mapping Company at 281-491-2525 for information prior to the hearing.

Submitted by,
Laura Richard
Fort Bend County Clerk

CONSTABLE'S NOTICE OF SALE

Notice is hereby given, that by virtue of a certain Order of Sale issued by the clerk of the 434TH District Court of Fort Bend County, Texas on September 29, 2015 in cause numbered **14-DCV-219435** styled **Waterside Estates Community Assoc Inc vs. Raymond & Barbara Cadman**, in which a judgment was rendered on June 22, 2015 in favor of Waterside Estates Community Assoc Inc for the sum of Six Thousand Five Hundred Thirty Eight Dollars and Forty cents (\$6,538.40); plus fees for posting notice of sale, publishing, costs of suit rendered by the court, legal fees, and all costs of executing this Writ. I have levied upon the below listed property on November 5, 2015 and will on December 1, 2015 Tuesday, between the hours of 10:00 a.m. and 4:00 p.m. proceed to sell for cash to the highest bidder, all the Right, Title, and Interest of Raymond & Barbara Cadman to and in the following described Real Property

LOT 34, BLOCK 2, OF Waterside Estates, Sec 9, an addition in FORT BEND COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN slide number 2421/A OF THE PLAT RECORDS OF FORT BEND COUNTY, TEXAS.
The above sale to be made by me to satisfy the above described judgment in favor of Waterside Estates Community Assoc Inc Plaintiff, and the proceeds applied to the satisfaction thereof.
LOCATION: FORT BEND COUNTY TRAVIS BLDG 1ST FLR, MEETING ROOM 301 JACKSON RICHMOND, TX 77469
DATE: Dec 1, 2015
TIME: APPROX. 10:00 am
BY: Deputy S Steele
TREVOR J. NEHLS
Constable Pct. 4
Fort Bend County, Texas

Sounds of the Season

Thursday, December 03, 2015
11:30 a.m. - 1:00 p.m.
Sweetwater Country Club
4400 Palm Royale Blvd.
Sugar Land, TX 77479
Join the Fort Bend Chamber of Commerce to celebrate the holidays with your staff and clients! Presented by CHI St. Luke's Sugar Land Hospital. Special guest, LaDonna Gatlin Speaker/Singer, will share a holiday story and sing during her performance. Students from Stafford MSD Middle School Choir will be caroling while greeting guests.

LEGAL NOTICE REQUEST FOR PROPOSALS

Sealed Competitive Proposals will be received in the Office of Gilbert D. Jalomo, Jr., County Purchasing Agent, Fort Bend County, Travis Annex, 301 Jackson, Suite 201, Richmond, TX 77469 for the following until THURSDAY, DECEMBER 10, 2015 at 1:30 P.M. CST). All proposals will then be opened in the Office of the Purchasing Agent, Travis Annex, 301 Jackson, Suite 201, Richmond, TX 77469 and the names of the proposers made public. Proposals received after the specified time will be returned unopened. Solicitation and any and all addendums will be posted on Purchasing Agent's website located at www.fortbendcountytx.gov.

RFP 16-040 - CONSTRUCTION OF SHERIFF'S OFFICE VOCATIONAL BUILDING #2

Pre-proposal conference will be conducted on Tuesday, December 1, 2015 at 9:00 AM at the Fort Bend County Purchasing Department located at 301 Jackson, Suite 201, Richmond, Texas. A site visit will commence immediately following the pre-proposal conference. All respondents are encouraged to attend. This is the only date and time respondents will be permitted to complete a site visit and job measurements. Detailed pricing is required. Bonds are required. Fort Bend County reserves the right to reject any or all proposals.
Signed:
Gilbert D. Jalomo, Jr.,
Purchasing Agent
Fort Bend County, Richmond, Texas

CITATION BY PUBLICATION STATE OF TEXAS

TO: LORIE LEIGH TEMPLETON
and to all whom it may concern, Respondent(s), You have been sued. You may employ an attorney. If you or your attorney do (does) not file a written answer with the clerk who issued this citation by 10:00 a.m. on the Monday next following the expiration of 20 days after you were served this citation and petition, a default judgment may be taken against you. Said answer may be filed by mailing same to: District Clerk's Office, 301 Jackson, Richmond, Texas 77469, or by bringing it to the office. Our street address is 1422 Eugene Heimann Circle, Richmond TX 77469. We are located on the first floor of the Justice Center building.
The petition of ALECIA MICHELLE WARE, Petitioner, was filed in the 328TH JUDICIAL DISTRICT COURT of Fort Bend County, Texas ON THIS THE 6TH DAY OF FEBRUARY, 2015 against **LORIE LEIGH TEMPLETON**, Respondent(s), numbered **15-DCV-220963**, and entitled **IN THE INTEREST OF WILLOW BEAWARE**.
The suit request TERMINATE PARENT CHILD RELATIONSHIP as is more fully shown by Petition on file in this suit. The date and place of birth of the child(ren) who is/are the subject of the suit:
AUGUST 19, 2014
The Court has authority in this suit to render an order in the child(ren)'s interest which will be binding on you, including the termination of the parent-child relationship, the determination of paternity and the appointment of a conservator with authority to consent to the child(ren)'s adoption.
Issued and given under my hand and seal of said Court at Richmond, Texas, on this the 17th day of November, 2015.
ATTORNEY FOR PETITIONER OR RESPONDENT:
ALECIA MICHELLE WARE
15603 MUSTANG ISLAND DR
SUGAR LAND TX 77498

THE STATE OF TEXAS CITATION BY PUBLICATION

**TO: ELVA COSTIGAN AND RICHARD E COSTIGAN, DECEASED
407 LEE DRIVE
RICHMOND TX 77469**
NOTICE:
You have been sued. You may employ an attorney. If you or your attorney do not file a written answer with the clerk who issued this citation by 10:00 a.m. on Monday next following the expiration of forty-two days from the date of issuance of this citation, same being November 30, 2015 a default judgment may be taken against you. Said answer may be filed by mailing same to: District Clerk's Office, 301 Jackson, Richmond, Texas 77469, or by bringing it to the office. Our street address is 1422 Eugene Heimann Circle, Richmond TX 77469. We are located on the first floor of the Justice Center building.
The case is presently pending before the 400TH JUDICIAL DISTRICT COURT of Fort Bend County sitting in Richmond, Texas, and was filed on SEPTEMBER 30, 2015. It bears cause number **15-DCV-226808** and is styled:
In Re: Order for Foreclosure Concerning 407 Lee Drive Richmond, Tx. 77469 Under Tex. R. Civ. Proc.736
The name and address of the attorney for PLAINTIFF OR PETITIONER is:
**SCOTT H. CRIST
TAHERZADEH PLLC
5001 SPRING VALLEY ROAD
DALLAS TX 75244
469-729-6800**
The nature of the demands of said PLAINTIFF OR PETITIONER is as follows to-wit: WHEREFORE, PETITIONER REQUESTS, ON BEHALF OF ITSELF, ITS SUCCESSORS, AND ITS ASSIGNS, A COURT ORDER TO SELL THE PROPERTY PURSUANT TO THE TERMS OF THE NOTE, DEED OF TRUST, AND APPLICABLE LAW. PETITIONER SEEKS TO FORECLOSE A LIEN ENCUMBERING THE REAL PROPERTY COMMONLY KNOWN AS 407 LEE DRIVE, RICHMOND, TX 77469 (THE PROPERTY) AND MORE PARTICULARLY DESCRIBED AS: LOT NINE(9), BLOCK ONE (1) TARA, SECTION ONE (1), A SUBDIVISION IN FORT BEND COUNTY, TEXAS ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 21, PAGE 20 OF THE MAP RECORDS OF THE FORT BEND COUNTY, TEXAS.
If this Citation is not served, it shall be returned unserved. Issued under my hand and seal of said Court, at Richmond, Texas on this the 15th day of October, 2015.
**DISTRICT CLERK ANNIE REBECCA ELLIOTT
Fort Bend County, Texas
By Deputy District Clerk Ashley Analiz
Telephone: (281) 633-7616**

City of Missouri City

ORDINANCE NO. 0-15-61

AN ORDINANCE OF THE CITY OF MISSOURI CITY, TEXAS, CHANGING THE ZONING CLASSIFICATION OF 0.45 ACRES OF LAND FROM SD SUBURBAN DISTRICT TO LC-3 RETAIL DISTRICT; DESCRIBING SAID 0.45-ACRE TRACT OF LAND; AMENDING THE ZONING DISTRICT MAP OF THE CITY OF MISSOURI CITY; PROVIDING FOR AN AMENDMENT TO THE COMPREHENSIVE PLAN; PROVIDING FOR REPEAL; PROVIDING A PENALTY; PROVIDING FOR SEVERABILITY; AND CONTAINING OTHER PROVISIONS RELATING TO THE SUBJECT.

I, Maria Gonzalez, City Secretary of the City of Missouri City, do hereby certify that the foregoing is a true and correct copy of the caption of said Ordinance No. 0-15-61 approved on second and final reading by the City Council at its regular meeting held on November 16, 2015, as the same appears in the records of my office.

/s/Maria Gonzalez
City Secretary

City of Missouri City

ORDINANCE NO. 0-15-62

AN ORDINANCE OF THE CITY OF MISSOURI CITY, TEXAS, GRANTING A SPECIFIC USE PERMIT AUTHORIZING THE USE OF AN 18.90-ACRE TRACT OF LAND IN THE CITY OF MISSOURI CITY AS A SPECIFIC USE-PLACES OF ASSEMBLY; DESCRIBING SAID 18.90-ACRE TRACT OF LAND; PROVIDING LIMITATIONS, RESTRICTIONS, AND CONDITIONS ON SUCH SPECIFIC USE; REFERENCING A SITE PLAN; PROVIDING FOR CERTAIN CONSTRUCTION ACCORDING TO SAID PLAN; AMENDING THE ZONING DISTRICT MAP OF THE CITY OF MISSOURI CITY; PROVIDING FOR AN AMENDMENT TO THE COMPREHENSIVE PLAN; PROVIDING FOR REPEAL; PROVIDING A PENALTY; PROVIDING FOR SEVERABILITY; AND CONTAINING OTHER PROVISIONS RELATING TO THE SUBJECT.

I, Maria Gonzalez, City Secretary of the City of Missouri City, do hereby certify that the foregoing is a true and correct copy of the caption of said Ordinance No. 0-15-62 approved on second and final reading by the City Council at its regular meeting held on November 16, 2015, as the same appears in the records of my office.

/s/Maria Gonzalez
City Secretary

City of Missouri City

ORDINANCE NO. 0-15-63

AN ORDINANCE OF THE CITY OF MISSOURI CITY, TEXAS, AMENDING CHAPTER 86, UTILITIES, OF THE MISSOURI CITY CODE; AMENDING REGULATIONS REGARDING RECLAMATION DISTRICTS, WATER CONTROL AND IMPROVEMENT DISTRICTS, AND MUNICIPAL UTILITY DISTRICTS; PROVIDING FOR REPEAL; PROVIDING A PENALTY; AND PROVIDING FOR SEVERABILITY.

I, Maria Gonzalez, City Secretary of the City of Missouri City, do hereby certify that the foregoing is a true and correct copy of the caption of said Ordinance No. 0-15-63 approved on second and final reading by the City Council at its regular meeting held on November 16, 2015, as the same appears in the records of my office.

/s/Maria Gonzalez
City Secretary



**NOTICE OF PUBLIC HEARING
TO ADJOINING PROPERTY OWNERS
WITHIN 200 FEET OF PROPERTY SUBJECT TO REZONING**

DATE OF NOTICE: July 27, 2018

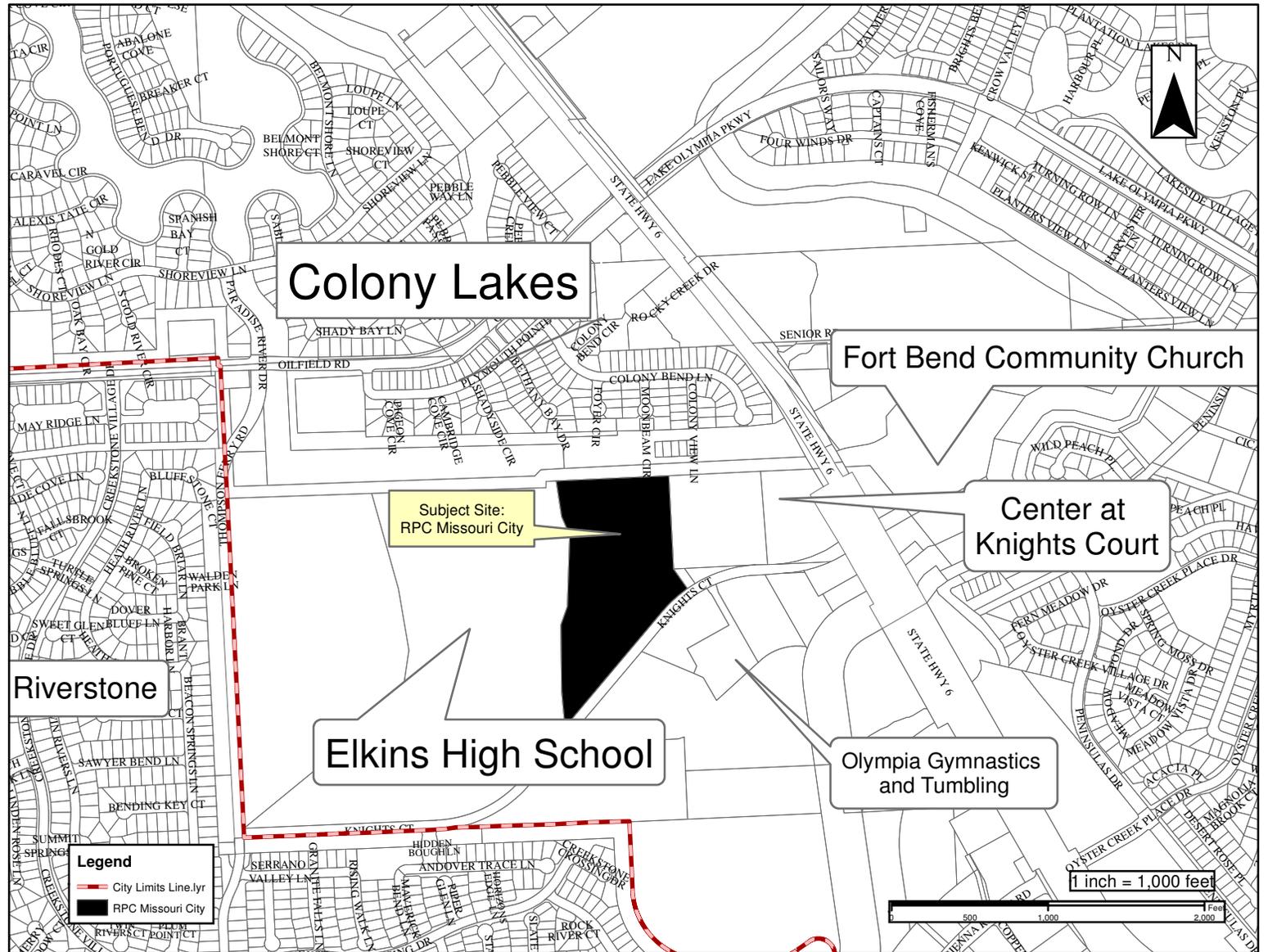
LOCATION/DATE: The Planning and Zoning Commission of the City of Missouri City will hold a public hearing on Wednesday, August 8, 2018, at the City Council Chambers – 2nd Floor, City Hall Building, 1522 Texas Parkway (FM-2234), Missouri City, Texas at 7:00 p.m.

PURPOSE: To receive comments for or against a request by Dean King, Executive Pastor, River Pointe Community Church, to amend the standards and regulations contained in ordinance O-15-62, pertaining to SUP, Specific Use Permit #197, to allow for the development of a fellowship pavilion and to the extent such rezoning deviates from the Future Land Use and Character map of the Comprehensive Plan, to provide for an amendment therefrom.

SITE LOCATION: The subject site is located north of Knights Court, south of Colony Lakes, east of Elkins High School and west of the center at Knights Court Shopping Center.

SITE LEGAL DESCRIPTION: The subject site is described as being all of Reserve A, River Pointe Community Church Missouri City, filed and recorded as instrument number 20180010, official Public Records of Fort Bend County.

FOR MORE INFORMATION: Additional information and a map of the subject site are available for review at City Hall, Missouri City, Texas on Monday through Friday from 8:00 a.m. to 4:00 p.m. You may call 281-403-8600 or email the Development Services Department-Planning Division at planning@missouricitytx.gov for further information.



Colony Lakes

Fort Bend Community Church

Subject Site:
RPC Missouri City

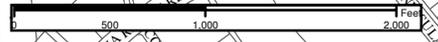
Center at
Knights Court

Elkins High School

Olympia Gymnastics
and Tumbling

Legend

- City Limits Line.lyr
- RPC Missouri City



1 inch = 1,000 feet





**PLANNING AND ZONING COMMISSION
STAFF REPORT**

AGENDA DATE: August 8, 2018

AGENDA ITEM SUBJECT: Dry Creek Village – PD, Planned Development
District #88 Amendment

AGENDA ITEM NUMBER: 7.B.

PROJECT PLANNER: **Jennifer Thomas Gomez, AICP**, Planning
Manager

APPROVAL:  **Otis T. Spriggs, AICP**, Director, Development
Services

PERMIT NUMBER: PD1800003

PROPERTY ID: Various – Application tied to 2820-01-000-0070-907
/ 2820-01-000-0090-907

LOCATION: PD No. 88 is located east and west of the Fort Bend Parkway, north of FBISD Hightower High School and Trammel Fresno Road; east of the Olympia Estates and Vicksburg residential subdivisions. The Dry Creek Village residential subdivision is located within PD No. 88, south of Lake Olympia Parkway, east of the Olympia Estates and Vicksburg residential subdivision, west of the Fort Bend Parkway.

RECOMMENDED ACTION:

The proposal complies with the provisions of the Comprehensive Plan and makes no changes to the policy of the Future Land Use Plan.

The Planning and Zoning Commission should adopt this as its Final Report and forward it to City Council with a **positive recommendation** for consideration and adoption thereof.

SCHEDULED FIRST READING BY THE CITY COUNCIL:

7:00 p.m., Tuesday, September 4, 2018

Revised submittals due prior to Friday, August 17, 2018. Any revised documents and exhibits required as a result of recommendations made by the Planning and Zoning Commission, must be submitted no later than 10:00 a.m. on August 17, 2018, which is prior to the deadline for submittals to the City Council for their September 4, 2018, meeting.

BACKGROUND:

PD, Planned Development District #88 is proposed to be a mixed use development consisting of single family residential and commercial uses to the west of the Fort Bend Parkway (Tollroad) and business park uses to the west.

PD #88 was originally created in 2013 and has been amended once since then in 2016.

The single family residential component of the PD is being developed as a subdivision named Dry Creek Village. To date, a conceptual plan has been approved for the subdivision to contain approximately 133.6 acres of land. The subdivision is being platted in 3 sections; Section 1 containing 148 residential lots; Section 2 containing 136 residential lots; and Section 3 containing 126 residential lots.

Section 1, being the northern most part of the subdivision located at its entrance along Lake Olympia Parkway and Dry Creek Drive is now under construction.

As part of the construction underway for Dry Creek Village Section 1, the developer began to install a community fence along Lake Olympia Parkway with plans to extend it a distance down Dry Creek Drive.

The fence to be installed does not meet the city's requirement for community fencing and thus the developer is seeking an amendment to this PD to allow for flexibility in the material to be used for such required fencing.

REQUIREMENTS FOR A PD DISTRICT AMENDMENT APPLICATION (SECTION 8.3)

A. Ownership documentation:

The applicant has submitted a statement of ownership listing each owner and proof of notice being submitted to all the other property owners within the PD district.

B. Legal description:

PD No. 88 is described to include the following tracts:

Tract 1 being described as a 152.586 acre tract of land situated in the Elijah Roark League Survey, A-77, Fort Bend County, Texas same being Tract 11A of

Olympia Estates as recorded in Slide Number 2331 A & B of the Fort Bend County Plat Records.

Tract 2 being described as a 116.302 acre tract of land being out of the remainder of that certain 263.13 acre tract of land and out of the remainder of that certain 80 acre tract of land, conveyed to Hermann Health Care System, Inc. by deed recorded under Clerk's File No. 9774265, of the Fort Bend County Deed Records.

Tract 3 being described as being a 88.1380 acre tract being out of the remainder of that certain 100 acre tract of land, conveyed to Hermann Health Care System, Inc. by a deed recorded under Clerk's File No. 9774265, of the Fort Bend County Deed Records.

Tract 4 being described as being a 37.429 acre tract located in the Elijah Roark League, A-77, in Fort Bend County and recorded in the name of Point Center Financial, Inc. in F.B.C.C.F. No. 2009050702.

Tract 5 being described as being a 38.4163 acre tract of land being part of the remainder of an 80 acre tract, conveyed to Hermann Health Care System, Inc. by a deed recorded under Clerk's File No. 9774265, of the Fort Bend County Deed Records lying in the Elijah Roark League Survey, A-77 in Fort Bend County, Texas.

The **Dry Creek Village residential subdivision** is contained within the above described tracts and is further described as being 46.60 acres of land filed and recorded as Dry Creek Village Section One under instrument number 20180086 in the Official Public Records of Fort Bend County Texas.

C. Site Plan:

A proposed site plan has been submitted which constitutes the required site plan.

D. Total acreage:

432.87 acres

E. Minimum design standards:

The applicant has complied with City standards, except as requested below in the Analysis of the Subject Site.

F. Development Schedule. The applicant has advised the development shall be completed within the required five-year timeframe pursuant to Section 8.2.D.

GENERAL SITE INFORMATION:

A. Existing Land Use and Zoning Designation:

Dry Creek Village

subdivision; vacant / PD #88

B. Surrounding Land Uses and Zoning Designations:

North: Lake Olympia; Fort Bend Parkway / PD #96 (Ordinance O-15-54)

South: Trammel Fresno Road / LC-3, retail district; MF-2, multifamily district;
SUP #132

East: City of Houston

West: Olympia Estates residential subdivision; Vicksburg residential subdivision
/ R-2, single family residential district / PD #13

C. Existing Zoning: PD #88

D. Zoning History:

09-02-1997:	Subject site annexed by the City of Missouri City and classified SD, suburban district (Ordinance O-97-32).
09-17-2001:	A portion of the subject site zoned R-2, single family residential district, LC-2, local retail district and LC-3, retail district (Ordinance O-01-47)
06-17-2002:	A portion of the subject site zoned LC-3, retail district (Ordinance O-02-21)
01-22-2013:	Subject site zoned PD #88 (Ordinance O-13-05)
04-18-2016:	PD #88 amended (Ordinance O-16-13)

Subsection 8.2.C. and 8.5 – Site plan and Use regulations: As stated above, per Zoning Ordinance Section 8.2.C., Site Plan, and 8.5, Use regulations, the applicant is required to propose minimum development guidelines for the site.

Except as provided herein, there are no changes proposed to PD #88.

G. Landscaping regulations. No changes are proposed to PD #88.

As this PD amendment pertains to the use of alternative fence materials, the applicant should be aware of the requirements contained within PD #88 pertaining to other fence/wall requirements.

Section 4.G.2. requires:

- a. A landscape or open space buffer a minimum of 25 feet in depth...provided between Fort Bend Parkway and the...single-family residential lots. A masonry wall a minimum of eight feet in height shall be provided along the property line of the single-family residential lots adjacent to the landscape or open space buffer...
- b. A landscape or open space buffer a minimum of 20 feet in depth...provided between nonresidential uses adjoining single-family residential uses. A

masonry wall a minimum of eight feet in height...shall be provided within the landscape or open space buffer.

K. Fence regulations

Section 4.K. of Ordinance O-16-13 pertaining to PD #88 provides that the fence regulations from Section 14 of the city's zoning ordinance apply except for certain standards provided for by Exhibit C, residential builder guidelines. These standards include the requirement for fencing on all lots and provides for certain standards on the location of such fencing; the visible side of such fencing, gates, and fencing required along greenspaces, detention and/or lakes.

Section 14.3 of the city's zoning ordinance requires community fencing to be located around the perimeter of residential subdivisions where adjacent to collector streets or major thoroughfares. Community fencing must consist of a minimum of wood fencing and brick pilasters. When wood fencing is used, masonry pilasters and columns consisting of architectural masonry unit, brick and/or stone are required every 300 feet.

Masonry fencing consisting architectural masonry units; brick, stone, split-face concrete masonry units, pre-cast concrete; and/or stucco may also be used. Brick veneer is prohibited.

All community fencing masonry pilasters and all masonry fencing must comply with the requirements primary materials and colors for exterior buildings, structures and fencing. In this instance, primary materials would be limited to brick, stone and architectural masonry units. Permitted colors would include:

Architectural masonry unit, brick: Beige, brown, burgundy, gray, orange, red, rose, sage.

Stone: Beige, brown, cream, tan.

As part of the construction underway for Dry Creek Village Section 1, the developer had begun to install and proposes to continue to install and maintain an aluminum and vinyl fence. The applicant has provided a mark-up of the Section 1 plat, showing the extent of the placement of the fence; an eight foot (8') segment would extend along Lake Olympia Parkway and a 6 foot (6') segment along the remainder of Dry Creek Drive. The applicant has not provided a color for the fence however the portions that have been installed are white.

Comprehensive Plan: Goal 5 and 5.1 underscore the city's commitment to quality design and community appearance.

Future Land Use Plan: This amendment does not affect the policy recommendations of the Future Land Use Plan.

Staff Recommendation: To approve the use of vinyl fencing as a perimeter fencing material with the following conditions:

- (1) Fence should meet the color requirements for primary material permitted colors;
- (2) Masonry pilasters meeting the requirements of Section 14.3 should be required.

Additionally, the applicant/developer should clarify the proposed material for the remainder of the Dry Creek subdivision, continuing around the perimeter of Sections 2 and 3.

Vinyl fencing is described as being introduced in the 1980's (<https://mmcfencingandrailing.com/wood-vs-vinyl-fencing/>) and is described by some services and the developer as being a product that outlasts wood. Vinyl fencing is described to be more expensive than wood upfront but less to maintain over time.

Vinyl fencing by most accounts is described as being a stronger, easier to maintain product than traditional wood fencing. However, it is yet to be determined how such fencing would fair in this area. The portion of the fence that has been installed has generated some concern from nearby residents and property owners as portions of the fence do not appear level or fully connected resulting in gaps. Section 14.3 provides for general design and construction standards that may address these issues as the fence that has been installed was placed without the issuance of a permit and subsequent inspection. The developer has since submitted plans for review and such fencing must be level, finished and adequately secured in accordance with the zoning ordinance and building codes.

Information found on vinyl fencing indicates that such fencing can be manufactured in a range of colors and textures; some of which can simulate stucco or woodgrain.

-----**END OF REPORT**-----



DEVELOPMENT SERVICES DEPARTMENT
 Planning & Development Division
 1522 Texas Parkway
 Missouri City, Texas 77489
 281-403-8600 (Office) ■ 281-208-5551 (Fax)
 www.missouricitytx.gov

APPLICATION FOR:

- Check One:
 SPECIFIC USE PERMIT
 SPECIFIC USE PERMIT AMENDMENT
 PLANNED DEVELOPMENT DISTRICT
 PLANNED DEVELOPMENT DISTRICT AMENDMENT

SEE EXHIBITS "A" (PAGE 7), "B", AND "C" (PAGE 8)
 FOR INFORMATION REQUIRED FOR COMPLETE APPLICATION SUBMITTAL

Date of Application:

1. Project Name:	DRY CREEK VILLAGE
2. Address/Location of Property:	SOUTH OF LAKE OLYMPIA PKWY, WEST OF DRY CREEK DR.
3. Applicant's Name:	JONES CARTER
Mailing Address:	1575 SANDUST RD. S. 400 THE WOODLANDS, TX. 77380
Phone No.:	(281) 363-4039
Email:	SWINTER@JONESCARTER.COM
4. Status of Applicant:	Owner <input checked="" type="radio"/> (Agent) Attorney Trustee Corporation Relative <small>(If other than Owner, submit written authorization from Owner with application.)</small>
5. Property Owner:	DC DEVELOPMENT PARTNERS, LP
Mailing Address:	4101 GREENBRIAR, S. 316 HOUSTON, TX. 77098
Phone No.:	(713) 627-1015
Email:	GLUNTDR@EARTHLINK.NET
6. Existing Zoning District:	PD DIST. 88; ORD. NO. 0-16-13
7. Total Acreage:	4.5359 ACRES
8. Proposed Development and Reasons for Application:	AMEND PD REQUIREMENTS TO ALLOW ALTERNATIVE PERIMETER FENCE
9. Legal Description of the Property (If the legal description is a portion of a lot, then a metes and bound description of the tract must be submitted with application.):	SEE ATTACHED; DRY CREEK VILLAGE, SECTION 1, BUK 1, LOTS 9, LOT 60, LOTS 90 THRU 103, LOTS 106, 107 AND LOT 108, RESERVES G AND I
10. Central Appraisal District tax identification numbers of property (Attach Paid Tax Receipts):	SEE ATTACHED LIST.
11. Do deed restrictions or restrictive covenants exist for the property? (Circle One):	<input checked="" type="radio"/> YES NO
12. Does this application include an Architectural Design Review? (Circle One):	YES <input type="radio"/> NO <input type="radio"/>
FILING FEE: \$1,200.00	

Hand deliver completed application form with the filing fee and required information to:

Development Services Department
 1522 Texas Parkway (FM 2234)
 Missouri City, TX 77489

By submitting this application you are permitting City staff to enter the site in order to post and remove public notice signs.

STAN WINTER, AICP
 Print Name of Applicant

Stan Winter
 Signature of Applicant

DANOR GLUNT
 Print Name of Property Owner

Danor Glunt
 Signature of Property Owner, Agent or Attorney

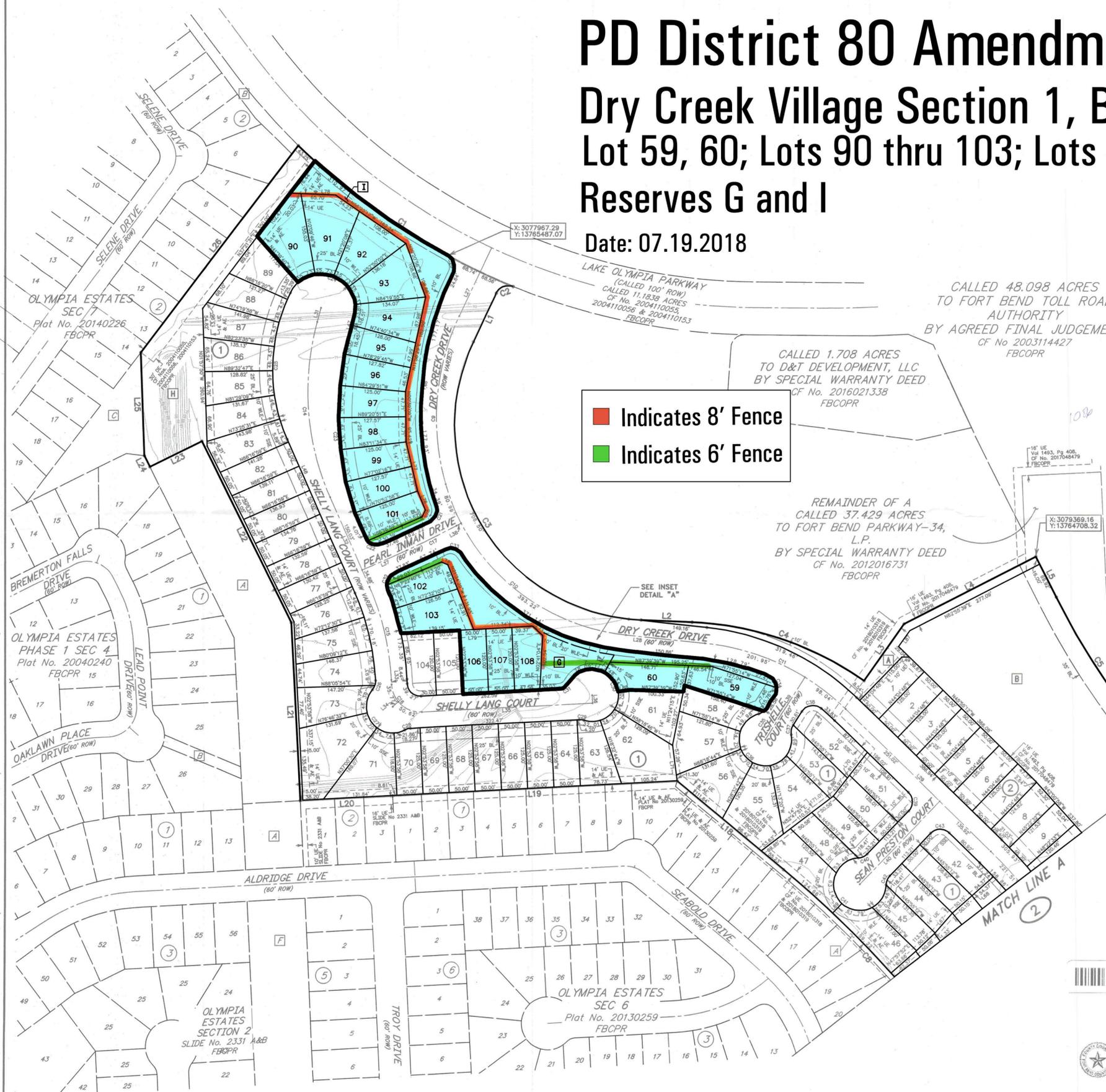
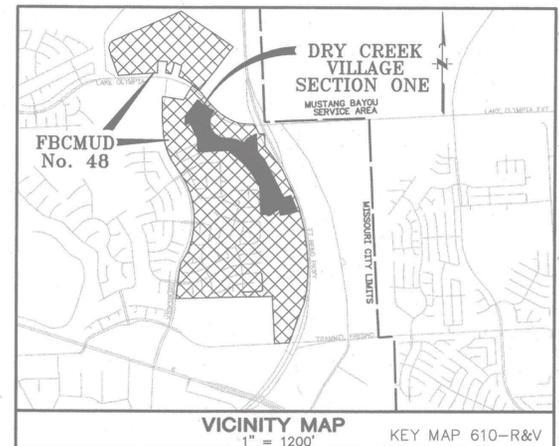
PD District 80 Amendment

Dry Creek Village Section 1, Block 1

Lot 59, 60; Lots 90 thru 103; Lots 106, 107 & 108

Reserves G and I

Date: 07.19.2018



■ Indicates 8' Fence
■ Indicates 6' Fence

CALLLED 48.098 ACRES
 TO FORT BEND TOLL ROAD
 AUTHORITY
 BY AGREED FINAL JUDGEMENT
 CF No. 2003114427
 FBCOPR

CALLLED 1.708 ACRES
 TO D&T DEVELOPMENT, LLC
 BY SPECIAL WARRANTY DEED
 CF No. 2016021338
 FBCOPR

REMAINDER OF A
 CALLLED 37.429 ACRES
 TO FORT BEND PARKWAY-34,
 L.P.
 BY SPECIAL WARRANTY DEED
 CF No. 2012016731
 FBCOPR

General Notes

- A one-foot reserve (1' reserve) has been dedicated to the public in fee as a buffer separation between the side or end of streets in subdivision plats where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the title fee thereto shall revert in the dedicator, his heirs, assigns or successors.
- All cul-de-sac radii are fifty feet (50'), unless otherwise noted.
- All block corner and cul-de-sac return to tangent radii are twenty five feet (25').
- BL "Building Line"
 CF "Clerk's File"
 DE "Drainage Easement"
 Emt "Easement"
 FBCMUD "Fort Bend County Municipal Utility District"
 FBCOPR "Fort Bend County Official Public Records"
 FBCPR "Fort Bend County Plat Records"
 FND "Found"
 No "Number"
 ROW "Right-of-Way"
 SF "Square Feet"
 SSS "Sanitary Sewer Easement"
 SSM "Storm Sewer Easement"
 UE "Utility Easement"
 Vol - Pg "Volume and Page"
 WLE "Waterline Easement"
 ① "Block Number"
 * Set 3/4-inch Iron With Cap Stamped "Jones/Carter" as Per Certification.
 "F" Found 3/4-inch Iron With Cap Stamped "Cotton Surveying"
- All easements are centered on lot lines unless shown otherwise.
- All building lines along street rights-of-way as shown on the plat.
- Elevations shown hereon are based on Missouri City Survey Control Monument Marker No. PCM-003 located at the northwest corner of Sierra Parkway and Trammel-Freano Road with a published elevation of 96.07 feet, NAVD 88, 2001 Adjustment.
- Sidewalks shall be constructed as required by section 82-164 of the Code of Ordinances of the City of Missouri City, Texas.
- Required fire flow shall be provided based on the size and construction of all buildings as required by the International Fire Code as adopted by the City.
- All drainage and floodway easements shall be kept clear of fences, buildings, plantings and other obstructions to the operations and maintenance of the drainage facility as required by Subsection 82-168(c) of the Code of Ordinances of the City of Missouri City, Texas.
- All slab elevations shall be one foot above the 100-year flood elevation as established by FEMA as per Section 3.C. (1) of the Administrative Platting Manual of the City of Missouri City (June 2014).
- Restricted Reserve "A" is restricted to landscape/drainage purposes only. Restricted Reserve "A" is 0.3284 acres, 14,305 square feet.
 Restricted Reserve "B" is restricted to lake detention purposes only and trails as required by the parkland dedication. Restricted Reserve "B" is 7.82 acres, 340,513 square feet.
 Restricted Reserve "C" is restricted to landscape/utility purposes only. Restricted Reserve "C" is 0.1085 acres, 4,725 square feet.
 Restricted Reserve "D" is restricted to landscape/utility purposes only and trails as required by parkland dedication. Restricted Reserve "D" is 0.1128 acres, 4,915 square feet.
 Restricted Reserve "E" is restricted to landscape/open space purposes only. Restricted Reserve "E" is 0.3981 acres, 17,571 square feet.
 Restricted Reserve "F" is restricted to lift station purposes only. Restricted Reserve "F" is 0.2893 acres, 11,730 square feet.
 Restricted Reserve "G" is restricted to landscape/open space purposes only. Restricted Reserve "G" is 0.6365 acres, 27,724 square feet.
 Restricted Reserve "H" is restricted to landscape/drainage purposes only. Restricted Reserve "H" is 1.1424 acres, 49,764 square feet.
 Restricted Reserve "I" is restricted to landscape/open space purposes only. Restricted Reserve "I" is 0.6030 acres, 26,288 square feet.
- The placement of fire hydrants shall be provided based on the minimum distance requirements as established in the International Fire Code as adopted by the City (500 ft. for residential development and 300 ft. for commercial development). All fire hydrants shall be installed according to the International Fire Code adopted by the City.
- The City of Missouri City shall not be responsible for maintenance of driveways, sidewalks, emergency access easements, recreational areas and open spaces; and the Fort Bend County MUD No. 48 shall be responsible for such maintenance of driveways, emergency access easements, recreational areas and open spaces as required by Subsection 3.C.12 of the Code of Ordinances of the City of Missouri City, Texas. The City of Missouri City is not responsible for the maintenance of trails as required by the parkland dedication. This would include trails/sidewalks constructed along Lake Olympia Parkway, Dry Creek Drive and within Reserves B and D and as depicted on the trail exhibit approved by the parkland dedication.
- All required utility companies have been contacted and all public utility easements as shown on the above and foregoing plat constitute all of the easements required by the utility companies contacted.
- There are no existing or proposed pipeline easements within the limits of the subdivision.
- All of the property subdivided in the above and foregoing plat is within the incorporated boundaries of the City of Missouri City, Texas.
- Slab elevation shall be elevated to or above a height which is the higher of eighteen inches above highest adjacent grade, or twelve inches above the maximum one percent annual flood risk floodplain ponding elevation in the nearest drainage system as per Section 42-54 of the Missouri City Code of Ordinances. The minimum slab elevation for Dry Creek Village Section One is 73.56' for Block 1, Lots 42-108, and Block 2, Lots 1-8; and 72.57' for Block 1, Lots 1-41 and Block 2, Lots 9-42.
- No building or other permit, except permits for construction of public improvements, will be issued by the City of Missouri City, Texas, for construction within this subdivision until such time as all public improvements of the subdivision have been constructed by the developer and accepted by the City or the guarantee of construction of public improvements required by Section 82-206 of the Code of Ordinances of the City of Missouri City, Texas, is submitted to and approved by the City.
- In accordance with Center Point Energy Electrical Service Manual, Article 421.2, electric meters shall be in a position that is accessible at all times without customer assistance. Access to the meter shall not be blocked by gates, walls or fences.
- Driveway approaches shall be provided in accordance with the Missouri City Driveway Approach Policy as required under the provisions of Subsection 82-160 of the Code of Ordinances of the City of Missouri City, Texas.
- All drainage and floodway easements shall be kept clear of fences, buildings, plantings and other obstructions to the operations and maintenance of the drainage facility as required by Subsection 82-168(d) of the Code of Ordinances of the City of Missouri City, Texas.
- There shall be a rear building line of not less than 15 feet. Detached garages shall have a rear yard setback of not less than eight feet.
- There shall be a side yard of not less than ten feet for interior lots and not less than ten feet for the street side of corner lots; the combined side yards between a building on the lot in question and a building on an adjacent lot shall be not less than ten feet. There shall be a side yard of not less than three feet for accessory buildings or garages on interior lots.
- Garages facing a side street must have a setback of not less than 20 feet.
- Coordinates shown hereon are Texas Coordinate System, South Central Zone (Grid) NAD 83. Combined scale factor = 0.999859732
- Driveway Location - for the lot on the inside of a knuckle or 90 degree turn, driveway must be placed on the lot frontage along the inside approach lane prior to the right turn, to avoid sight obstruction safety hazards.
- Bearings shown hereon are based on Texas Coordinate System, South Central Zone NAD 83.
- All drainage and floodway easements shall be kept clear of fences, buildings, plantings and other obstructions to the operations and maintenance of the drainage facility as required by Subsection 82-168(d) of the Code of Ordinances of the City of Missouri City, Texas.
- All slab elevations shall be one foot above the 100-year flood elevation as established by FEMA as per Section 3.C. (1) of the Administrative Platting Manual of the City of Missouri City (June 2014).
- A parkland dedication was approved by the Missouri City Council on March 6, 2017 for the provisions of trails as noted on the plat and for a cash payment for 50% of the total number of residential lots.
- The subject plat is located within the boundaries of PD, Planned Development District #88 (Ordinance 0-16-13) and is subject to the regulations and restrictions of the PD #88 including Exhibit C, Residential Builder Guidelines.
- The easement recorded in Clerk's File No. 2017020006 and referenced on the City Planning Letter dated November 21, 2017 is a Short Form Blanket Easement for Certain Utilities with no legal description or exhibit showing a route. The tract to be platted shown hereon is affected by this blanket easement.

DRY CREEK VILLAGE
SECTION ONE
 A SUBDIVISION OF 46.60 ACRES OF LAND
 OUT OF THE
H. SHROPSHIRE SURVEY, A-313
ELIJAH ROARK LEAGUE, A-77
CITY OF MISSOURI CITY,
FORT BEND COUNTY, TEXAS
150 LOTS 9 RESERVES 2 BLOCKS
FEBRUARY 2018

23 pgs 2018032734

FILED AND RECORDED
 OFFICIAL PUBLIC RECORDS

Laura Richard
 Laura Richard, County Clerk
 Fort Bend County Texas
 March 29, 2018 02:21:16 PM
 FEE: \$438.00 CR1 20180086

OWNER:
DC DEVELOPMENT PARTNERS, LP
 4101 GREENBRIAR, SUITE 316
 HOUSTON, TEXAS 77098
 713-627-1015

ENGINEER/PLANNER/SURVEYOR:
JONES CARTER
Texas Board of Professional Land Surveying Registration No. 4489
 Texas Board of Professional Land Engineering Registration No. 28642-04
 6800 West Loop South, Suite 200 - Houston, TX 77036

City of Missouri City, TX

Received

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Planning Division



Call 507-206-4154

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Rainier Vinyl Privacy Fence

Heavy Duty Vinyl Privacy Fence. Wind Certified to 130 MPH. Fast Shipping. Lifetime Warranty. Made in USA.

Our Rainier Vinyl Privacy Fence is our most popular privacy fence with a beautiful and contemporary style that is perfect for enhancing and defining your property. All of our vinyl privacy fence panels include aluminum in the bottom rail for industrial strength, boast the thickets rails, posts and pickets, and are ideal for creating complete privacy. With a transferable lifetime warranty built in, our fences stand out among the rest! Compare the facts on our commercial grade vinyl privacy fence and see the difference. All of our Heavy Duty vinyl privacy fence panels are available in the following heights: 3 foot tall, 4 foot tall, 5 foot tall, 6 foot tall, 7 foot tall, 8 foot tall fence, 9 foot tall, 10 foot tall privacy fence, 12 foot tall privacy fence and even 16 foot tall privacy fence!



We always provide Fast Nation Wide shipping. Most orders ship in 3-4 business days. Rainier vinyl privacy fence is very basic to install, as always we provide complete installation support. Unlike big box stores that push their low grade plastic fence that can blow away in the first storm, we provide expert support along with the very best vinyl fence manufactured in USA. When you have a question simply give us a call or email. You will not be dealing with a person working in the paint department nor the lawnmower aisle. We are fence experts and will provide you with expert support to ensure your fence is installed correctly the first time! Rainier Privacy Fence is available in White privacy fence panels, Tan privacy fence panels, Gray privacy fence panels, and Clay privacy fence plus color combo. Contact us 24/7 for a free quote.507-206-4154

Texas Privacy Fence

Heavy Duty Texas Privacy Fence. Fast Shipping. Lifetime Warranty. Made in USA.

The Texas privacy fence is the perfect combination of privacy and elegance. The topper pickets give our Texas vinyl fence panels a modern look while still providing privacy, and is perfect for all extreme weather conditions. Very fast Shipping! Most orders are on the road within 3-4 business days. The Texas privacy fence is available in White Texas Privacy Fence, Tan Texas Privacy Fence, Clay & Color Combo.



The measurements for all of our heavy duty vinyl fence panels are true for height and width. 72" tall is measured from the top of the top rail to the bottom of the bottom rail. Our 96" wide is measured from the center of one post to center of the next post. There are no brackets or wood used with our heavy duty Texas vinyl fence. Not to be confused with the "big box" retail plastic fence, our Texas vinyl fence includes the thickest pickets, posts, and rails, plus aluminum in the bottom rail for commercial strength. Contact us 24/7 for a free quote. **507-206-4154**

Heavy Duty Vinyl Privacy Fence

Fast Shipping, Made in USA, Transferable Lifetime Warranty, Wind Certified to 130 MPH!

Our Heavy Duty Commercial Grade Vinyl Privacy Fence adds actual value to your project, backed by our industry leading Transferable Lifetime Warranty. Our Vinyl Privacy fences are high quality commercial grade, that does not compare to the Big Box Store low grade plastic fence that can blow away during the first storm. Our Heavy Duty Privacy Fence is the strongest privacy fence manufactured. Engineered for the Hurricane Coast, our privacy fence is wind certified to 130 mph! Our Vinyl Privacy fence panels are engineered for all temperatures from extreme heat to frigid cold! No more painting, sanding, staining or replacing your privacy fence! Includes everything needed for your project except concrete and installation. Browse our large selection of commercial grade vinyl privacy fence panels and find the best privacy fence for your project!

Purchase Factory Direct and Save! On Sale Now. Fast Shipping. Click on picture below for pricing and details.



Rainier Privacy Fence



Rainier With Lattice

Why Consider Our Texas Privacy Fence?

A rapidly increasing number of home and business owners are finding that a commercial grade heavy duty vinyl fence helps meet all of their fencing needs. Our Texas privacy fence, which is made from virgin vinyl, is well-known for being extremely sturdy and ready to stand up to unforgiving climates, making it the most suitable option regardless of the environment in which the property is located.

Our Heavy Duty Vinyl fence panels will never rot or rust. You will not experience this benefit using wood or metal. Wood, for example, needs to be repainted at regular intervals to maintain its shading. By washing it with soap and water on a semi-frequent basis, your vinyl fence will look new for years with minimal upkeep.

Texas Vinyl fencing is produced using a lightweight material, making the installation process less demanding. Other materials such as metal and wood often require pieces to be collected and nailed together. This results in a difficult and strenuous installation.

Our Texas privacy fence will save you money over time, a result of its ability to maintain its fresh appearance and strength for years. It offers a gorgeous finish and privacy for your property with numerous advantages. If you are looking for vinyl privacy fencing that will last a lifetime plus you are at the right place! Contact us online or by calling 507-206-4154.

THE STONGEST TEXAS PRIVACY FENCE MADE IN USA

Heavy Duty, Commercial Grade. Fast Shipping A+ 247 Customer Service

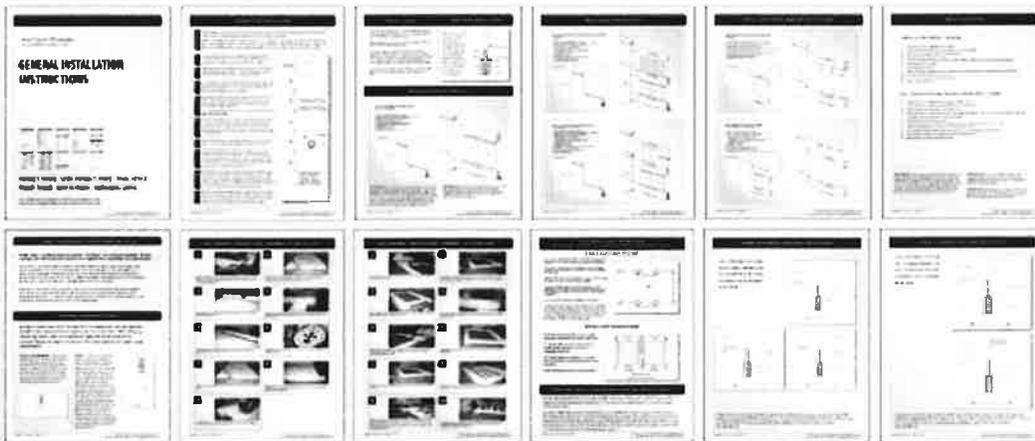
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Vinyl Fence Wholesaler
www.vinylfenceanddeck.com

VINYL FENCE INSTALLATION INSTRUCTIONS



**PRIVACY FENCE - SEMI-PRIVACY FENCE - POOL FENCE
PICKET FENCE - RANCH FENCE - MATCHING GATES**

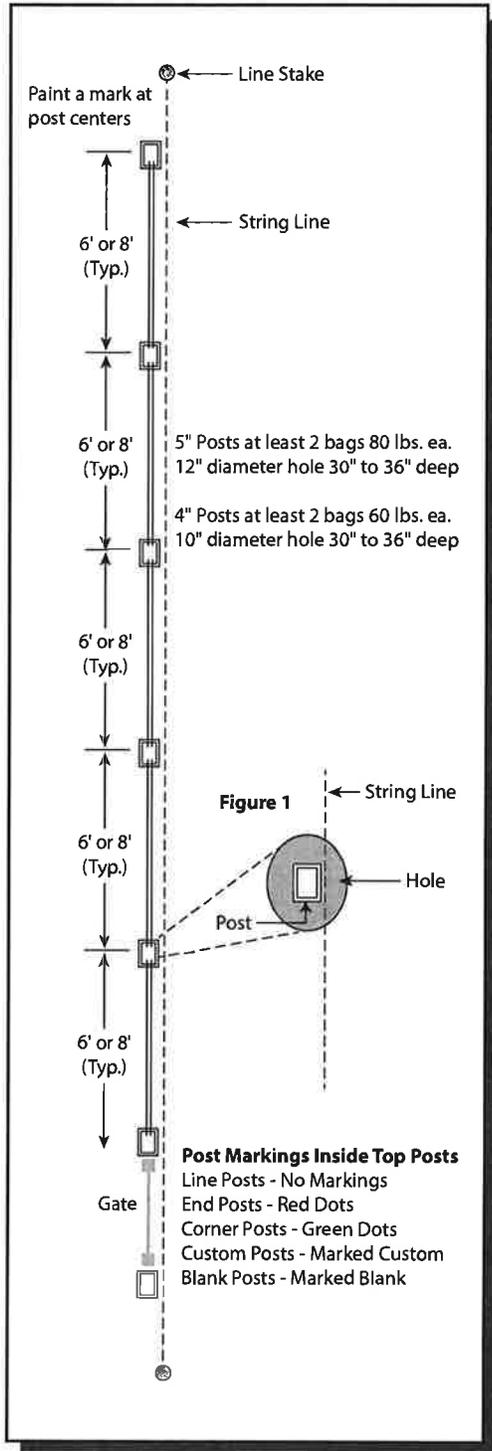
GENERAL POST INSTALLATION

IMPORTANT

When installing your fence or gate, we recommend a minimum of 2" clearance between the bottom of the panel and the ground. This will allow enough clearance for the gate to swing freely.

Measure, assemble and install your gates first (even pre-cut gate kits). The installed gate will set the height of the fence being installed. Failure to do so may result in a poor installation. Dry fit the cut rails into gate socket posts. Make any needed adjustments prior to gluing your gates. For various reasons, gate sizes may vary in width.

- 1** Survey land for special features such as obstructions, underground cables, or concrete from the old fence. Be sure to follow all local building codes and obtain a building permit if necessary. Contact your local utilities prior to digging.
- 2** Install the line stakes (secure stakes firmly) and run a string line 1.5" to 2" off of the ground, (see figure 3 located on page 2.) Line should not be distorted. Avoid tall grass, weeds and other obstructions. The line should be very tight!
- 3** Use a tape measure to measure and mark where the posts are to be installed. Most of the posts are to be installed 72" or 96" from center of post to center of post. The Semi-Privacy panels will have a 97.5" from center of post to center of post layout. Always follow the information on your C.A.D. diagram.
- 4** Remove string line leaving the stakes and dig the post holes. For 5" posts you will need a 12" dia. hole and for 4" posts you will need 10" dia. hole. Accuracy in the depths will help to simplify post installation. Run a string line on side of posts to insure fence line is straight. See figure 1.
NOTE: Recommended depth of holes is 30" - 36". Check local codes and frost lines as greater depth may be required.
- 5** We recommend installing 1 post and 1 section at a time but there are many methods to install. As long as the end result is positive, feel free to alter this method to suit your installation needs. Concrete and plumb the first post and insert assembled panel rails into the first post. Next, have the second post sitting in the adjacent hole, insert assembled panel rails into the second post, then concrete and plumb. Repeat for all panels and posts.
- 6** Concrete is not required for our horse fence, picket fence or any of our fence style below 5' tall. You can instead use sand, pea gravel or fill dirt around the posts.
- 7** Concrete is recommended for all commercial fence projects and for use with our privacy fence, and any of our fence styles above 5' tall. To set posts, hold post in place to prevent slippage. Fill remainder of hole around post 3" below ground level. If using concrete work concrete into hole around post as needed. We recommend you mix concrete and pour wet. Use a minimum of 2 of the 80 lbs. bags of quickcrete for each 5" post and 2 of the 60 lbs. bags for each 4" post.
- 8** If you are going to use concrete, do not pre-set your posts in concrete! We suggest doing all of the concrete work last after your fence is installed. You can concrete in the first post if you like, however not the second post until after the fence panel is installed. Our fence is designed to fit together very tight. By having the second post loose in the hole will allow you to manipulate the post to allow the rails to easily slide into the posts. This will also allow you to make adjustments as you go.
- 9** Recommended: drill holes (1/4" bit) through the underside of rails to allow water to escape. If your bottom rails have ribs as shown in -figure 2, you will need a bit long enough (1/4"x4") to drill through the upper rib. Recommended: If you are -filling the inside of your post with concrete you must drill holes to prevent sagging.



HELPFUL HINTS

If post does not already have a concrete weep hole at bottom of the post drill a hole at least 3/4" dia. 12" up from bottom of post. This will help concrete get into post.

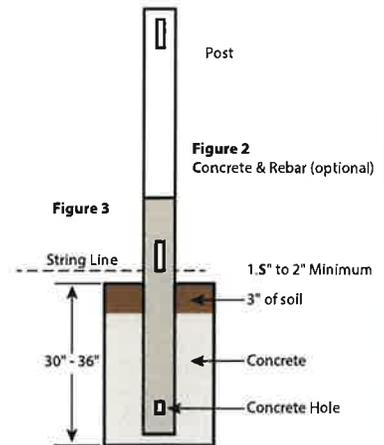
When gluing picket caps, place a thin bead of glue inside the picket and press picket cap into place.

Post caps should not be glued in the event you want to upgrade to a different style. A small amount of clear silicone on the inside corner of post cap will secure cap to post. • Clean fence using a formula of 1/3 Cup powdered detergent, 2/3 Cup household cleaner and 1 gallon water. Rinse thoroughly.

For stain removal use either lacquer thinner or soft scrub with bleach. Rinse thoroughly with water after using either of these.

HIGH WIND INSTALLATION

If the fence is over 6' tall or you are located in a high wind area it is recommended that you will fill the inside of the posts half way up with concrete AFTER THE PANELS ARE INSTALLED. Prior to installing panels into the posts tape the lower rail to prevent concrete backflow.

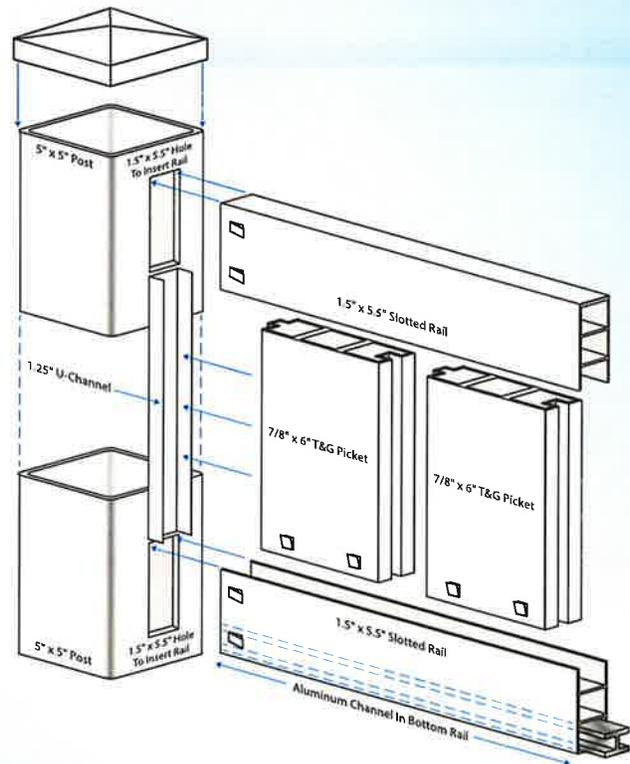
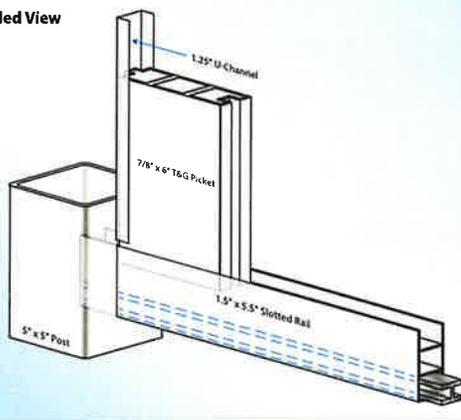


INSTALLATION STEPS (PRIVACY)

Heavy-Duty Rainier Privacy Fence 3' to 6' Tall - No Mid-Rail

- 1.) Follow instructions for digging holes and layout.
- 2.) Install 1 post (post A) with concrete around the post – level and plumb.
- 3.) Have another post (post B) sitting in the adjacent hole.
- 4.) Install the bottom and top-rail in post A.
- 5.) Slide the T&G pickets between the bottom and top-rail
- 6.) Don't forget the U-channel on first and last pickets).
- 7.) Install the bottom rail in post B.
- 8.) Install the top rail in post B.
- 9.) Put concrete around post B and level and plumb.

Assembled View



IMPORTANT TIP: For best results set your first post (anchor) in concrete. As you assemble have the remaining posts loose in the holes. Use pea gravel (for drainage at the bottom of each hole) to hold the posts in place. This will allow you to manipulate the posts to insert the horizontal rails into the posts. Once the fence sections are assembled, fill remaining post holes with concrete. You can use fill dirt at the top of the hole to allow your sod to grow back. Level fence sections and posts as you fill holes with concrete. Ensure the entire fence line is plumb and level before concrete sets!

IMPORTANT TIP #2: If you are going to Wind Certify your fence, make sure to take a strip of duct tape to cover the end of the bottom horizontal rails before you insert into the posts. This will allow you to backfill the posts after the install and will ensure concrete will not seep into the bottom horizontal rail.

FENCE PANEL LENGTH & HEIGHT ADJUSTMENTS

Our Fence Panels are designed to adjust down to any length needed. Under many conditions panels may be "cut down in height as well. Please consider the following information and suggestions.

Before cutting, lay the fence panel down on the ground and lay the pickets on top of the rails to get an idea as to what it will look like before you cut! This will allow you to mark it correctly.

Privacy Fence - the privacy panels include 6" wide T&G pickets, it is best to reduce the length of the panel in increments of 6". If you are not able to follow this course, you will have to "rip" the length of the picket, which will require the use of a saw. Our U Channel for our privacy fence styles, will hide the cut so again this is not a problem as our fence is designed for this! Once you have determined the actual length of panel needed, cut one end of the horizontal rail to achieve the desired measurement.

Picket Fence and Semi Privacy Fence and Pool Fence: The Bottom, Mid (if included) and top horizontal rails of any picket top style fence" may need to be cut at both ends to have the pickets uniformly between posts. Be sure to cut the top and bottom rails the same to insure proper picket alignment. When eliminating pickets from a "scalloped" panel, remember that you will have to insert the pickets in such a way that it resembles the scallop, or slope of the original panel.

Ranch & Horse Fence - Cut the rails to any length required. This is very common and easy to accomplish!

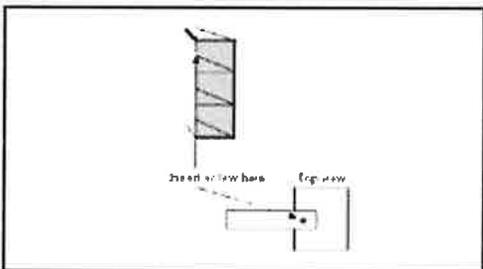
Height Adjustments

If you are having to cut down the height of your fence panels, hopefully you have accounted for this on your order as you might need additional blank posts or end posts to custom route the holes for the rails. Please contact your sales associate for any questions on your order. If you have not ordered your fence and you will have different heights required make sure you let us know so that we can quote your project correctly.

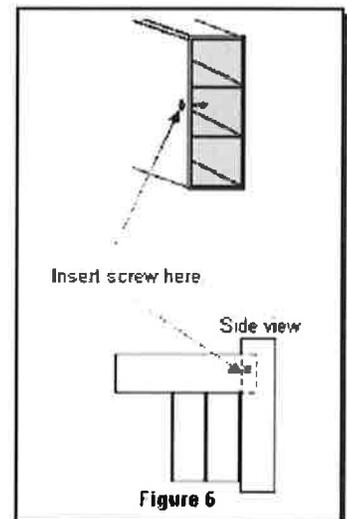
SECURING SHORTENED PANELS

In instances where the horizontal rails must be cut down in length, try to cut from one end when possible, as this will ensure that you will retain one set of notches on the end of the rails. The notches are not required as our rails are very snug in the posts, however they do add a layer of security to prevent them from pulling out of the posts.

OPTION 1 (RECOMMENDED) - After the rails are installed, insert a screw at each end of the rail on the face of the rails, outside of the post. (See figure 4). We recommend a small pan head size number 12 stainless steel screw. After the screws are installed you may want to paint it to match the color of your material. You can use standard spray-paint or you may even use auto touch up paint found at your local auto parts store.



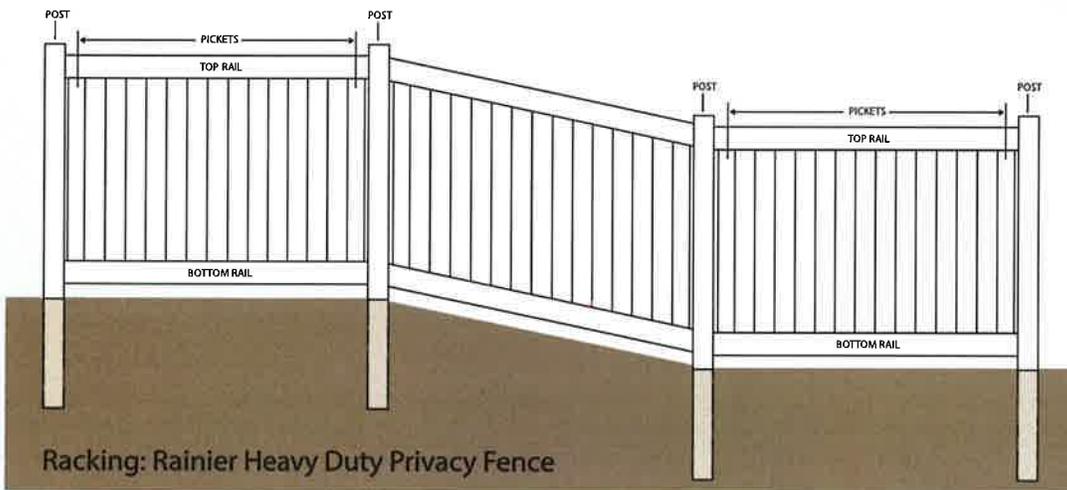
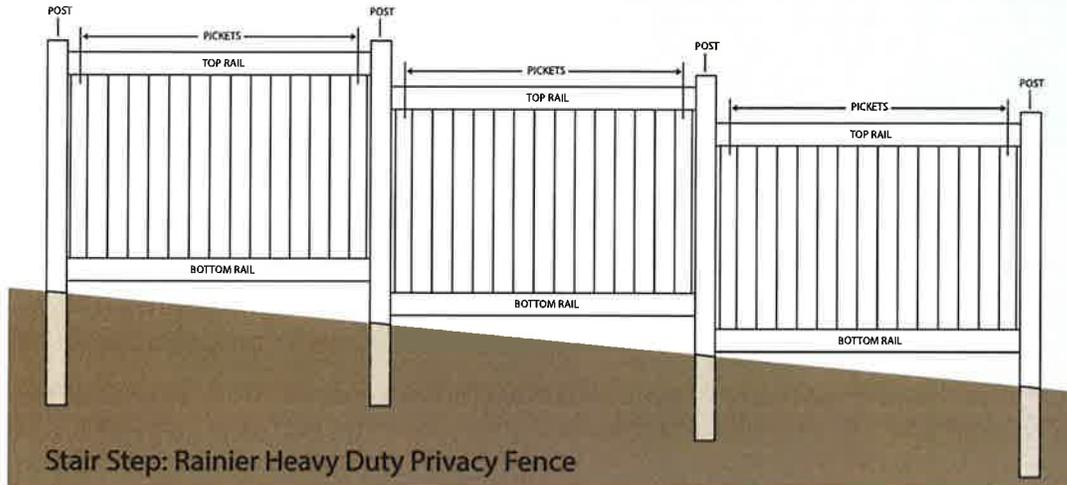
OPTION 2 - If option 1 does not fit your needs you may want to consider this option. A simple method for replacing notches on the top rail is to drive a stainless steel screw into the rail through the opening in the top of the post. See Figure 5. This will make certain that the top rail remains inside the post if force is applied to pull it out. A method for replacing the notches on a bottom rail also utilizes a stainless steel screw. Instead of driving the screw partially into the top wall of the rail, insert it fully into the front face of the rail as close to the end as possible. See Figure 6. While simultaneously inserting the rail into the post, use applied pressure from your thumbs to direct or "bow in" the face of the rail enough so that the head of the screw passes through the routed opening of the post. This method will also ensure that the top rail remains inside the post if force is applied to pull it out.



STEPPING VERSUS RACKING

Very few fence projects are on level ground. All of our Heavy Duty Fence products are designed to install on any surface and to adjust to your terrain. For Mild slopes you can simply vary the depth of your post to allow the top horizontal rails to remain level and for the slope to be on the bottom of the fence panel where it meets the ground.

If your ground has severe slopes and hills you will have to consider which installation method best fits your project For Severe Slopes you can Rack or Stair Step your fence.



Privacy Fence - To rack your fence, you will need to elongate the routing holes on the posts to allow the horizontal rails to angle up or down depending on the rack you are looking for. To angle the rail up, you will elongate the top of the routing hole. To angle the rail down, you will elongate the bottom of the routing hole. We suggest using a Sawzall or a jig saw- I have done this in the field with a tiny hand saw. Just make sure to only cut off a small amount at a time until you achieve the angle you are looking for. Once you have this correct you can that angle cut the pickets at the top to achieve the same angle.

Ranch Fence - Ranch Fence Looks best Racked. Very easy to accomplish as you will simply be elongating the routing holes in the post to allow the rails to adjust to the angle you require. Allow the rails to follow the angles of your terrain for a very elegant looking installation.

Picket Fence, Pool and Semi Privacy Fence - Are pre-routed to allow for racking 8" - 10" over 8' Panel length. The Bottom Side of each Horizontal rails is routed to allow our pickets to rack.

To Step your Fence, you will need to let us know of this in advance. We will provide End Posts or Blank Posts which will allow you to stair step your fence to go up or down your slope as needed.

You will simply cut the routing holes on site to allow for the step. Very easy to accomplish and keep in mind we are always here 24/7 as your installation support!

GATE ASSEMBLY INSTRUCTIONS - ASSEMBLY OF PRIVACY GATE

1



Always start by doing a "Dry Fit" test without gluing. This allows you to make any necessary adjustments. Start the assembly by inserting the rails into the first gate socket post as shown. Install a u-channel on the first picket. Feed the pickets into the slots of the rails. Continue installing the additional pickets.

2



Once you have finished installing the pickets, install the remaining Uchannel in the same manner as the first. Do not use glue for the initial "Dry Fit" assembly. Once assembly is complete measure to be sure gate is the same width at top and bottom.

3



Cross measure the gate. Be sure to read the same side of the tape rule. Failure to do so will result in the wrong measurement.

4



Leaving the panel assembled, carefully remove the rails from the socket posts. Turn the first socket post up and run a 1/8" bead of vinyl glue (included) around the inner rim of the socket approx. 1/4" down.

5



After the glue is in the pockets of the first gate post, flip it down and quickly insert the rails into the pockets. Be sure to firmly insert the rails. The adhesive will set in about 45-60 second.

6



Quickly repeat steps 5 & 6 for the other post. This may take some assistance to do before the adhesive begins to set.

7



Quickly measure the top and bottom of the gate as shown here. Both measurements should be equal.

8



Allow glue to dry for 1 hour, cut and install the angle brace. The brace should run at an angle starting at the lower corner of the gate on the hinge side and run at an upward angle towards the top of the gate on the latch side.

9



Pre-drill two holes into each end of the angle brace only. DO NOT Pre-Drill into the gate. Attach the angle brace using two of the provided self-tapping screws at each end of the gate.

GATE ASSEMBLY INSTRUCTIONS - ASSEMBLY OF PICKET GATE

1



Start gate assembly by locating all parts to the gate: Socket posts, rails & pickets. Using NO GLUE, assemble for a "dry" test.

2



Once the gate is assembled, measure the width at the top and bottom of gate as shown here. They must be the same width or your gate will be out of square! Note: If you are assembling a pool or a semi-privacy style gate you must have the pickets in place prior to gluing the gate.

3



Measure diagonally as well. Both ways should be the same or within 1/8" difference at most! Make any adjustments for gate before moving forward.

4



After the gate has been checked carefully remove the rails from the gate posts. Flip first gate post up and insert a 1/8" bead of glue around the inside of the pocket down about 1/4" from top of the pockets.

5



After the glue is in the pocket of the first socket post, flip it down and quickly insert the rails into the pocket. Move on to the next step quickly! Be sure to firmly insert the rails, the adhesive will set in about 45 seconds.

6



Quickly repeat the step above for the other post. This may take some assistance to do before the adhesive sets.

7



Quickly measure the top and bottom of the gate as shown here. Both measurements should be equal.

8



After gate has set for 24 hours, insert the pickets through the top rail into the bottom rail as needed. NOTE: This will have already been done on a pool or semi-privacy style gate.

9



After pickets are installed, lay the angle brace on the gate and mark the length to cut. The brace is to be mounted to the rails only, (see pictures below) Pre-drill 2 holes into the angle brace only. DO NOT pre-drill into the gate. The angle brace should run at an angle starting at the bottom of the bottom rail near the bottom hinge and run at an angle towards the top of the top rail of the latch post.

10



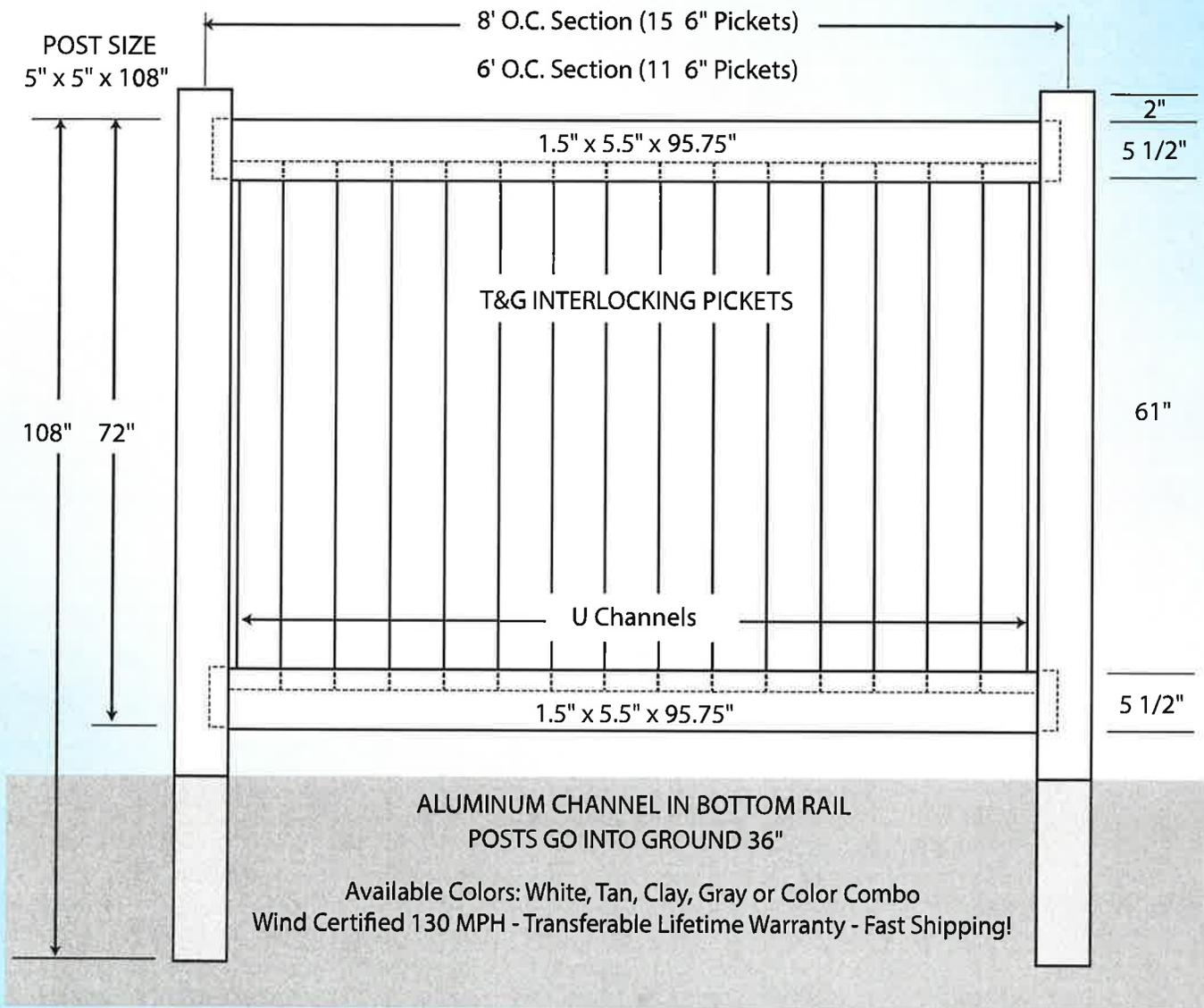
Attach the brace using 2 self-tapping screws at each end of the gate as shown here. The screws are provided. Note: Mark the hinge side of socket post with tape. This will keep you from installing the angle brace in the wrong direction.

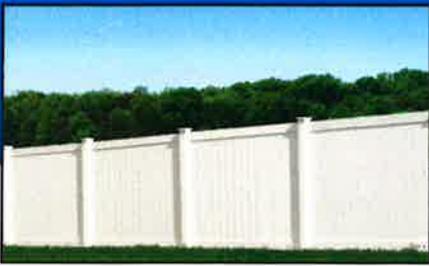


VINYL FENCE WHOLESALER

Technical Specifications - Rainier Privacy Fence

6' Tall (8' Wide or 6' Wide Sections)





Purchase Factory Direct 24/7 - Heavy Duty Vinyl Fence & Decking
Your Trusted Manufacturer & Supplier Since 1995!

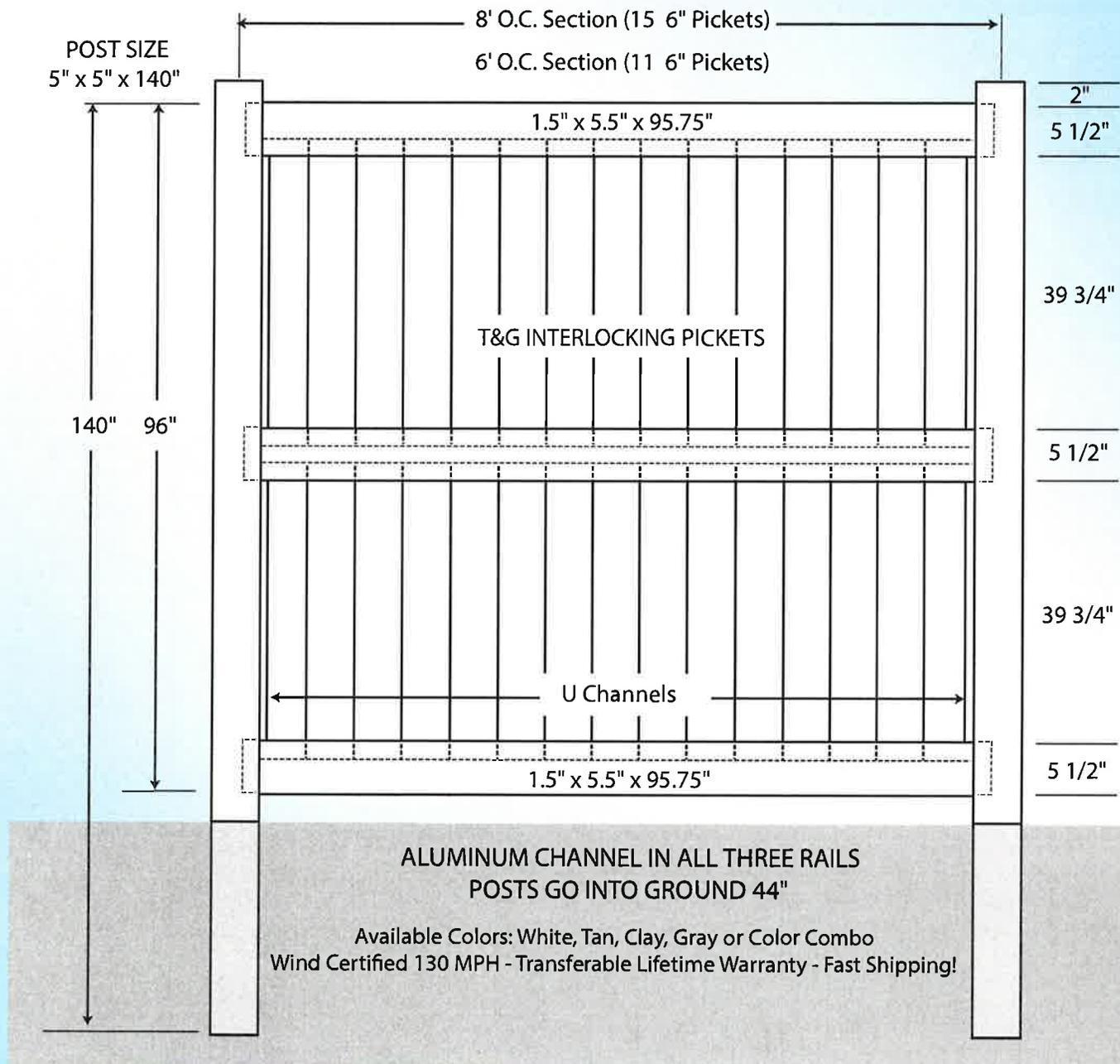
Phone: (507) 206-4154 - Website: www.vinylfenceanddeck.com



VINYL FENCE WHOLESALER

Technical Specifications - Rainier Privacy Fence

8' Tall (8' Wide or 6' Wide Sections)





www.vinylfenceanddeck.com

VINYL FENCE WHOLESALER

Lifetime Warranty

A.) ORIGINAL OWNER'S TRANSFERABLE LIFETIME WARRANTY

Vinyl Fence & Deck Wholesaler, manufactures vinyl fence products with quality raw materials and state-of-the art manufacturing processes to provide you with years of low maintenance. Vinyl Fence & Deck Wholesaler (hereinafter referred to as "Vinyl Fence Wholesaler") proudly warrants that its vinyl fence and rail products are free from defects in material and manufacturing workmanship. When installed to Vinyl Fence Wholesaler's written, online instructions and under normal proper use, such products will not peel, rot, pit, blister, rust, flake, corrode, warp, crack, split, yellow, or be consumed by insects. If any defector degradation as described above is discovered, Vinyl Fence Wholesaler, at its option, will replace, or refund the purchase price of the defective material (including reasonable vinyl material quantities necessary to remedy the covered defect) except where damage is caused by improper installation or conditions as detailed in Section C.

Simulated Stone Fence includes a 30 year warranty plus everything above- This fence will not discolor and is warranted for 30 years from day of purchase- Vinyl Fence Wholesaler shall not be liable or responsible for labor expense or other expenses pertaining to the removal, replacement, or installation of either the original or replacement material.

Any costs or expenses beyond Vinyl Fence Wholesale's liability as described in this warranty agreement shall be the owner's responsibility. This lifetime coverage remains in effect for the lifetime of the original purchaser and is transferable one time if ever property is sold where the product is installed. Warranty is automatically registered to the property address where the product is installed. Vinyl Fence Wholesaler limits this warranty to 30 years in the event that the vinyl product is installed for commercial use. The Transferable lifetime warranty is intended to cover the fence and is transferable one time if ever property is sold. Should corporations, partnerships, government agencies, trusts, organizations, condominiums or cooperative housing arrangements purchase the product, the warranty period is limited to 30 years from the date of purchase

B.) REGISTRATION OF WARRANTY

Your Fence, Deck or Railing purchase is automatically registered to the property address and warranted upon purchase. No cards to fill out! Vinyl Fence Wholesaler has a complete record of every purchase.

C.) CONDITIONS NOT COVERED BY THIS WARRANTY

This warranty covers defects in material and/or manufacturing. It does not cover failure of or damage to such products resulting from improper installation; settlement or failure of any structure on which the product (s) is installed; settlement or soil movement; misuse; impact of foreign objects; painted, varnished or coated vinyl; intentional or neglectful acts of damage; fire, wind, flood, hail, lightning or other acts of God; improper care or failure to provide reasonable or necessary repair of the product; normal and expected weathering of the surface*, chalking, mildew; exposure to harmful chemicals or metal oxides, vapors or acid rain and surface discoloration due to atmospheric pollution. * NOTE: Normal weathering is defined as exposure to ultraviolet light and extremes of weather and atmosphere which will cause any colored surface to experience changes including but not limited to chalking, fading, or accumulating dirt or stains. Degrees of weathering vary depending on geographical location, air pollution, and other factors. Weathering and color-hold stains are established in ASTM Specifications F964-94

D.) OBTAINING PERFORMANCE OF THIS WARRANTY

If you feel that your A Vinyl Fence & Deck Wholesaler fence or rail is not free from manufacturing defects or degradation as described in Section A, you must notify the manufacturer in writing within thirty (30) days following the discovery of the damage or alleged defect.

WARRANTY SERVICES DEPARTMENT

Vinyl Fence Wholesaler

5795 Green Pointe Dr S, Groveport, OH 43125

507-206-4154

Briefly state the nature of your warranty claim and submit (1) proof of purchase with date (2) pictures of defect (3) samples (4) proof of ownership.

For all other Warranty Questions call Vinyl Fence Wholesaler 507-206-4154

E.) CLAIMS AND REMEDIES

Important: ALL Claims under this warranty must be reported in writing to Vinyl Fence Wholesaler within thirty (30) days of the date the defect is first discovered or reasonably could have been discovered. Vinyl Fence Wholesaler must have reasonable opportunity to inspect the product in question before repairs are begun. If the product is deemed to be defective by Vinyl Fence Wholesaler, then Vinyl Fence Wholesaler will repair, replace, or refund, at its option, the defective part in accordance with the terms and conditions contained in Sections A, B and C.

Vinyl Fence Wholesaler reserves the right to discontinue or modify its products without notice. Furthermore, Vinyl Fence Wholesaler shall not be held liable for changes to its products or its offerings, nor shall Vinyl Fence Wholesaler be liable for differences in color of gloss of replacement material in comparison to the original product according to the standards established for weathering. In the event that a claim is made for discontinued or modified product, Vinyl Fence Wholesaler will, at its option, supply vinyl fence or rail material of equivalent quality and value or refund the purchase price of the warranted product (s). In the event of repair or replacement under the terms of this warranty, the original warranty shall apply to the repaired or replaced fence or rail and will extend for the balance of the warranty period in effect at the time the material proved defective. This warranty replaces all other oral or written warranties, liabilities or obligations of Vinyl Fence Wholesaler. Vinyl Fence Wholesaler makes no express warranties except as herein stated and shall not be liable for any incidental, special or consequential damages with respect to its products and accessories covered by this warranty, the extent of its liability and the owner's exclusive remedy being limited to repair, replacement, or refund, at Vinyl Fence Wholesaler's option, as set forth herein. Some states do not allow the limitation on or the exclusion of incidental or consequential damages, so the above exclusions may not apply.

VINYL FENCE WHOLESALER | FACTORY DIRECT TO YOU 24/7 | ONLINE LEADER SINCE 1995!

Main (507) 206-4154 • FAX (507) 206-4153 • Website www.vinylfenceanddeck.com



www.vinylfenceanddeck.com

Physical Properties:

Test

Using 0.125 specimen: Izod impact
Tensile Yield Strength
Tensile Modulus
Flexural Modulus
DTUL at 264 PSI
ASTM Cell Classification

Specifications

Value	ASTM
22.5ft.lbs/in.	D256
6606	D638
432,000 PSI	D638
378,000	D790
75	D648
1333	D1784-14344B

Profile Specifications:

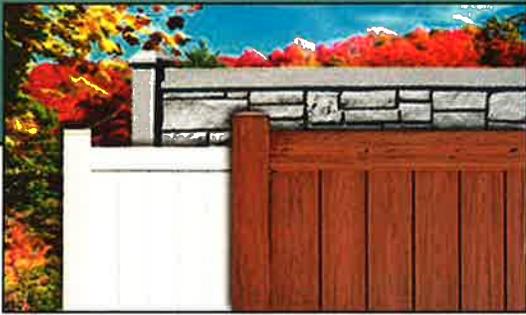
Item	Dimension	Thickness +/- 0.010"	
Posts:	5" x 5"	.150"	
	4" x 4"	.140"	
Rails:	1.5" x 5.5"	.090"	Double Ribbed
	1.75" x 3.5"	.120"	
	2" x 3.5"	.110"	
	2" x 6"	.110"	Double Ribbed
Pickets:	.875" x 1.5"	.070"	
	.875" x 3"	.070"	
	.875" x 6" T&G	.065"	Double Ribbed
Aluminum:	5" Post insert	.108"	Recommended for each side of gate.
	4" Post insert	.108"	Recommended for each side of gate.
	1.5" x 5.5" I-Channel	.075"	
	1.75" x 3.5" U-Channel	.070"	
	2" x 3.5" H-Channel	.070"	

TiO2/Titanium Dioxide: 12 parts per 100. Keeps Material from fading due to UV rays.

Note: All of the panels sold by AVF&DW come with re-enforced aluminum channel in the bottom rails.

A Vinyl Fence & Deck Wholesaler does not manufacture nor sell any "economy" product such as .135" posts or .080" rails.

None of our fence panels require brackets for installation. We use no galvanized metal with our product.



www.vinylfenceanddeck.com

AVERAGE TIME OF BURNING	<5 sec. (ASTM D 635)		
AVERAGE EXTENT OF BURNING	<5MM. (ASTM D 635)	FLAME SPREAD	15 (ASTM E 84)
SMOKE DENSITY	>500 (ASTM E 84)		

IGNITION PROPERTIES

SELF IGNITION DID NOT OCCUR. AT 680 DEGREES F

SAMPLE BEGAN TO SMOLDER AND CONTINUED UNTIL CONSUMED (ASTM D1929).

CODE LISTINGS

VINYL FENCE WHOLESALER IS LISTED BY THE FOLLOWING MAJOR CODE WRITING ORGANIZATIONS:

UNIFORM BUILDING CODE – ICBO EVALUATION SERVICES STANDARD BUILDING CODE – SBCCI PST & ESI

NATIONAL BUILDING CODE – BOCA EVALUATIONS SERVICES FEDERAL HOUSING AUTHORITY – MEETS

REQUIREMENTS

OTHER TESTING:

UNDERWRITER'S LABORATORIES – FILE R14214

VINYL FENCE WHOLESALER | FACTORY DIRECT TO YOU 24/7 | ONLINE LEADER SINCE 1995!

Main (507) 206-4154 • FAX (507) 206-4153 • Website www.vinylfenceanddeck.com



TEST REPORT

Rendered to:

**A VINYL FENCE & DECK WHOLESALER
(507) 206-4154
www.vinylfenceanddeck.com**

Savannah and Pembroke Privacy Fence Systems

**Report No: 82343.01-119-16
Report Date: 05/28/08**

130 Derry Court
York, PA 17406-8405
phone: 717-764-7700
fax: 717-764-4129
www.archtest.com



TEST REPORT

82343.01-119-16

May 28, 2008

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TEST REPORT

Report No: 82343.01-119-16
Test Date: 05/08/08
Report Date: 05/28/08

1.0 General Information

1.1 Product

6 ft High by 8 ft Wide *Savannah* and *Pembroke* Privacy Fence Systems

1.2 Project Description

Architectural Testing, Inc. was contracted by A Vinyl Fence & Deck Wholesaler to perform dynamic wind load tests on their 6 ft by 8 wide *Savanna* and *Pembroke* privacy fence systems. This report includes comprehensive written and photographic documentation of the testing performed.

1.3 Test Witnessing

Mr. Jerry Sexton, a representative of A Vinyl Fence & Deck Wholesaler, witnessed all testing reported herein.

2.0 Reference Standard

2004 *Florida Building Code, Building*

3.0 Dynamic Wind Load Testing

3.1 Test Specimen

Two *Savanna* and two *Pembroke* fence sections measuring 6 ft high by 8 ft wide were tested. A Vinyl Fence & Deck Wholesaler provided all test materials. Architectural Testing, Inc. personnel assembled all test specimens at Architectural Testing, Inc. See drawings in Appendix A for a detailed description of assemblies and components.

130 Derry Court
York, PA 17406-8405
phone: 717-764-7700
fax: 717-764-4129
www.archtest.com

3.2 Test Equipment

The wind generator consists of an engine driven vane axial fan. The fan blades were fixed at a 5-1/2° pitch as marked on the fan. The plenum has an outlet of 8 ft wide by 4 ft high with eight 2 ft by 2 ft baffled outlets. Deflections were measured with linear displacement transducers accurate to 0.01 in. Wind speeds were calibrated according to Section 7 of Miami-Dade's Protocol TAS 100-95 (reference Architectural Testing, Inc. Report No. 76850.02-119-18).

3.3 Test Setup

A steel test fixture was used to simulate a rigid post embedment. The bottom of the bottom rail was fixed at two inches above the top of the test fixture. The wind generator outlet was located 4 ft from the face of the specimen (see photographs in Appendix B). Linear displacement transducers were located to monitor displacement of the top rail at its center, the middle of the in-fill area and bottom rail at its center.

3.4 Test Procedure

Wind load testing began at 30 mph and increased in 10 mph increments until failure or a maximum wind speed of 110 mph. Wind loads were performed with a relaxation period after 50 mph, 80 mph and 110 mph to record permanent set. The duration of the applied wind load at each wind speed was determined by using the following equation:

$$t = 3600 / V_{fm} \quad \text{(Equation 1)}$$

where:

t = duration, seconds

V_{fm} = "fastest mile" wind speed, mph

Wind speeds used in testing correlate with "fastest mile" wind speeds (V_{fm}) for reference to codes and design standards. Maximum deflections were recorded at each load level. Testing was performed on May 8, 2008.

3.5 Limitations of Test

Test setup and procedure provides information for evaluation of the fence assembly to resist sustained wind speeds indicated in the test results. This evaluation includes the transfer of wind loads to the fence panels, rails and support posts. The posts only support a single section of fence in this simulation and are, therefore, not fully evaluated for actual field conditions. Additional evaluation of the support posts may be required. Posts were braced with 2 x 2 x 3/16 x 54 in steel angles to simulate cement fill to mid-post height.

3.6 Wind Load Test Results

See drawings in Appendix A for assembly details and photographs in Appendix B for specimen orientation respective to wind direction.

Series / Model: *Savannah*

Description: 6 ft high by 8 ft wide PVC privacy fence

Rails: Two 1-1/2 in by 5-1/2 in by 0.085 in wall by 95-3/4 in hollow PVC co-extrusion with two equally-spaced internal horizontal ribs, 7/8 in wide slot for pickets and two notched tabs per side on each rail end.

Top Rail Reinforcement: None

Bottom Rail Reinforcement: 1-1/4 in by 1-5/8 in by 0.065 in wall by 95-3/4 in Aluminum I Extrusion.

Pickets: Fifteen tongue & groove 7/8 in by 6 in by 0.059 in average wall by 64-1/4 in hollow PVC co-extrusion with two equally spaced internal ribs.

Picket Attachment: Pickets were inserted into 7/8 in wide slot in rails.

U-Channel: Two 1-1/4 in by 1-1/2 in by 0.09 in wall PVC mono-extrusion slipped over each end picket to conceal tongue or groove.

Post: Two 5 in by 5 in by 0.135 in average wall by 108 in hollow PVC co-extrusion with routings for rails; reinforced with two external steel angles to 54 in height to simulate concrete fill to 54 in.

Rail Attachment: Rails were inserted 1 in into 1-1/2 in by 5-1/2 in routed holes in the posts. The notched tabs on rail ends prevented rail withdrawal.

Test No. 1 - *Savannah* with No Mechanical Fasteners

Wind Speed (mph)	Duration (sec)	Deflection (in)		
		Top	Mid	Bottom
30	120	1.23	1.52	0.94
40	90	2.37	2.62	1.63
50	70	3.86	4.16	2.54
0	120	0.00	0.28	0.22
60	60	5.77	6.01	3.65
70	50	8.34	8.43	4.99
80	45	9.98	9.90	5.99
0	120	0.18	0.48	0.36
90	40	12.73	12.84	7.66
100	6	Blowout of nine center pickets		

Maximum Sustained Wind, $V_{fm} = 90$ mph (equivalent $V_{3s} = 110$ mph)

3.6 Wind Load Test Results (Continued)

Series / Model: *Savannah*

Description: 6 ft high by 8 ft wide PVC privacy fence

Rails: Same as Test No. 1

Top Rail Reinforcement: Same as Test No. 1

Bottom Rail Reinforcement: Same as Test No. 1

Pickets: Same as Test No. 1

Picket Attachment: Pickets were inserted into 7/8 in wide slot in rails and each picket end was attached to the rail with a single #10 x 1 in self-tapping Phillips head sheet metal screw installed on the side opposite the wind generator. See photograph in Appendix B.

U-Channel: Same as Test No. 1

Post: Same as Test No. 1

Rail Attachment: Rails were inserted into routed holes in the posts. The notched tabs on rail ends prevented rail withdrawal. Additionally, a single #10 x 1 in self-tapping Phillips head sheet metal screw was inserted into the top of the top rail inside each of the two posts. See photograph in Appendix B.

Test No. 2 - *Savannah* with Pickets Screwed to Rails

Wind Speed (mph)	Duration (sec)	Deflection (in)		
		Top	Mid	Bottom
30	120	1.39	1.47	0.85
40	90	2.17	2.21	1.39
50	70	3.82	3.81	2.33
0	120	0.00	0.16	0.08
60	60	4.98	5.03	3.03
70	50	6.99	6.81	4.37
80	45	8.96	8.69	5.16
0	120	0.11	0.28	0.17
90	40	10.97	10.97	6.77
100	35	13.48	13.11	8.39
110	35	14.46	14.26	9.32
0	120	0.34	0.69	0.69

Observation: No visible damage at the completion of the test.

Maximum Sustained Wind, $V_{fm} = 110$ mph (equivalent $V_{3s} = 130$ mph)

3.6 Wind Load Test Results (Continued)

Series / Model: *Pembroke*

Description: 6 ft high by 8 ft wide PVC privacy fence

Rails: Same as Test No. 1

Top Rail Reinforcement: Same as Test No. 1

Bottom Rail Reinforcement: Same as Test No. 1

Pickets: Eight tongue & groove 7/8 in by 11.3 in by 0.05 in wall by 64-1/4 in hollow PVC co-extrusion with five equally spaced internal ribs and a vertical groove at mid-width on the outside surfaces to simulate a space between two narrower pickets.

Picket Attachment: Same as Test No. 1

U-Channel: Same as Test No. 1

Post: Same as Test No. 1

Rail Attachment: Same as Test No. 1

Test No. 3 - *Pembroke* with No Mechanical Fasteners

Wind Speed (mph)	Duration (sec)	Deflection (in)		
		Top	Mid	Bottom
30	120	1.23	1.52	0.94
40	90	2.37	2.62	1.62
50	70	3.86	4.16	2.54
0	120	0.00	0.28	0.22
60	60	5.77	6.01	3.65
70	50	8.34	8.43	4.99
80	45	9.98	9.90	5.99
0	120	0.18	0.48	0.36
90	40	12.73	12.84	7.66
100	6	Blowout of four center pickets		

Maximum Sustained Wind, $V_{fm} = 90$ mph (equivalent $V_{3s} = 110$ mph)

3.6 Wind Load Test Results (Continued)

Series / Model: *Pembroke*

Description: 6 ft high by 8 ft wide PVC privacy fence

Rails: Same as Test No. 1

Top Rail Reinforcement: Same as Test No. 1

Bottom Rail Reinforcement: Same as Test No. 1

Pickets: Same as Test No. 3

Picket Attachment: Pickets were inserted into 7/8 in wide slot in rails and each picket end was attached to the rail with two #10 x 1 inch self-tapping Phillips head sheet metal screws on the side opposite the wind generator. See photograph in Appendix B.

U-Channel: Same as Test No. 1

Post: Same as Test No. 1

Rail Attachment: Same as Test No. 2

Test No. 4 - *Pembroke* with Pickets Screwed to Rails

Wind Speed (mph)	Duration (sec)	Deflection (in)		
		Top	Mid	Bottom
30	120	1.52	1.56	0.96
40	90	2.61	2.67	1.62
50	70	4.32	4.40	2.60
0	120	0.15	0.28	0.22
60	60	5.98	5.99	3.59
70	50	7.78	7.76	4.72
80	45	9.98	10.01	6.02
0	120	0.31	0.45	0.33
90	40	12.03	12.15	7.66
100	35	14.39	14.60	9.50
110	35	16.94	17.21	11.28
0	120	0.63	1.16	1.35

Observation: No visible damage at the completion of the test.

Maximum Sustained Wind, $V_{fm} = 110$ mph (equivalent $V_{3s} = 130$ mph)

4.0 Summary and Conclusions

Wind speed calculations in accordance with ASCE 7-98 / 7-02, *Minimum Design Loads for Buildings and Other Structures*, were used to determine the post load for the fence size (area) supported by the post. The Structure Classification was Category I, Low Hazard, and the Exposure Category was C, Open Terrain. The wind speed calculations use the following equations and coefficients in accordance with ASCE 7:

$$q_z = 0.00256 K_z K_{zt} K_d V_{3s}^2 I \quad \text{(Equation 2)}$$

where:

q_z = Velocity Pressure, psf.

K_z = Exposure Coefficient. K_z shall be equal to 0.85 for heights up to 15 ft.

K_{zt} = Topographic Factor. K_{zt} shall be equal to 1.0.

K_d = Directionality Factor. K_d shall be equal to 1.0.

V_{3s} = 3-second gust wind speed, mph.

I = Importance Factor. I shall be equal to 0.87 for a non-hurricane prone regions and hurricane prone regions with $V_{3s} = 85$ to 100 mph

I = importance factor. I shall be equal to 0.77 for a hurricane prone region with $V_{3s} > 100$ mph.

Note #1: Values do not account for wind speed-up over hills and escarpments.

$$F = q_z G C_f A_f \quad \text{(Equation 3)}$$

where:

F = Wind Force.

q_z = velocity pressure, psf.

G = Gust Effect Factor. G shall be equal to 0.85 for rigid structures.

C_f = Net Force Coefficient. C_f shall be equal to 1.2 for free-standing walls.

A_f = Projected Area, ft²

The design wind load for a 6 ft high by 8 ft wide fence system was calculated using ASCE 7-02 based on sustained wind speeds of 90 mph and 110 mph, which correlate to 110 mph and 130 mph three-second gust wind speeds, respectively. The results are as follows:

Sustained / 3 Second Gust Wind Velocity (mph)	Design Load ¹ (lb)
90 / 110	994
110 / 130	1,386

¹ "F" from Appendix C

These calculations are contained in Appendix C.

5.0 Closing

Detailed drawings, data sheets, representative samples of test specimens, a copy of this test report will be retained by Architectural Testing, Inc. for a period of four years from the original test date. At the end of this retention period such materials shall be discarded without notice and the service life of this report by Architectural Testing will expire. Results obtained are tested values and were secured using the designated test methods. This report does not constitute certification of this product nor an opinion or endorsement by this laboratory. It is the exclusive property of the client so named herein and relates only to the specimens tested. This report may not be reproduced, except in full, without the written approval of Architectural Testing, Inc.

For ARCHITECTURAL TESTING, INC.:



Digitally Signed by: Keith A. Gurnee

Keith A. Gurnee
Technician
Structural Systems Testing



Digitally Signed by: David H. Forney

David H. Forney, P.E.
Senior Project Engineer
Structural Systems Testing

DHF:dhf/alb

Attachments (pages): This report is complete only when all attachments listed are included

- Appendix A - Drawings (9)
- Appendix B - Photographs (4)
- Appendix C - Calculations (2)

2008.05.29 11:42:02 -04'00'



Revision Log

<u>Rev. #</u>	<u>Date</u>	<u>Page(s)</u>	<u>Revision(s)</u>
0	05/28/08	N/A	Original report issue



82343.01-119-19

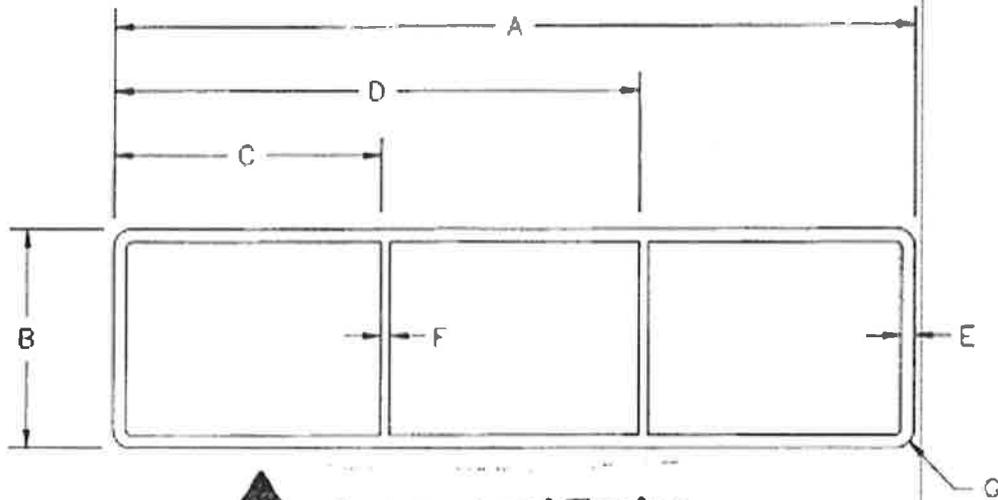
APPENDIX A

Drawings



UltraGuard®

1 1/2"x5 1/2" RAIL



Architectural Testing

Test sample complies with these details.
Deviations are noted.

Report# 82343.01-119-19

Date 5-14-08 Tech JNF

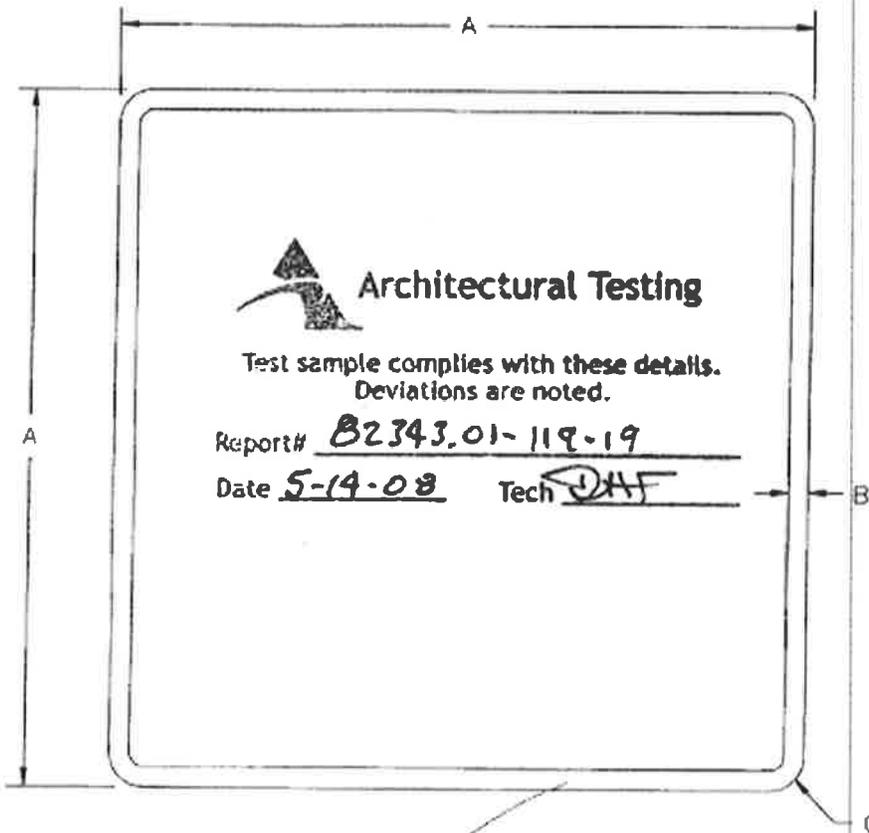
- A. WIDTH OUTSIDE = 5.500±0.012 ✓
- B. WIDTH OUTSIDE = 1.500±0.007 ✓
- C. OUTSIDE TO FIRST RIB = 1.833 (REFERENCE)
- D. OUTSIDE TO SECOND RIB = 3.607 (REFERENCE)
- E. NOMINAL WALL THICKNESS = 0.090±0.007 ✓
- F. NOMINAL RIB THICKNESS = 0.060 ✓
- G. OUTSIDE CORNER RADIUS = 0.125

WEIGHT PER FOOT - - - = 0.840 LBS.
OVERALL LENGTHS - - - = 6', 8', 12', 16'



UltraGuard®

5'x5" POST



- A. WIDTH OUTSIDE = 5.000±0.012
- B. NOMINAL WALL THICKNESS = ~~0.145±0.009~~
- C. OUTSIDE CORNER RADIUS = 0.250

0.11 to 0.145

WEIGHT PER FOOT - - - = 1.700 LBS.

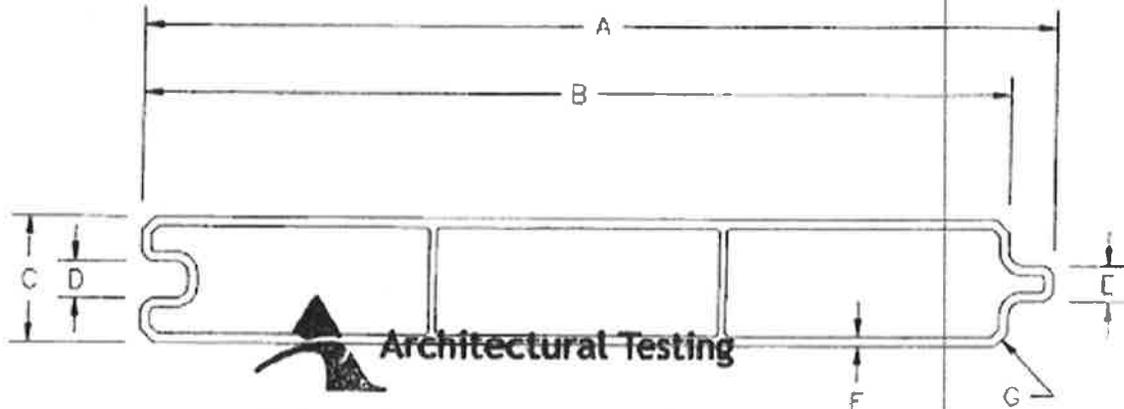
OVERALL LENGTHS - - - = 5.5', 6', 6.5', 7', 7.5', 8', 9', 16'



UltraGuard®

7/8"x6" TONGUE & GROOVE PICKET

SAVANNAH ✓

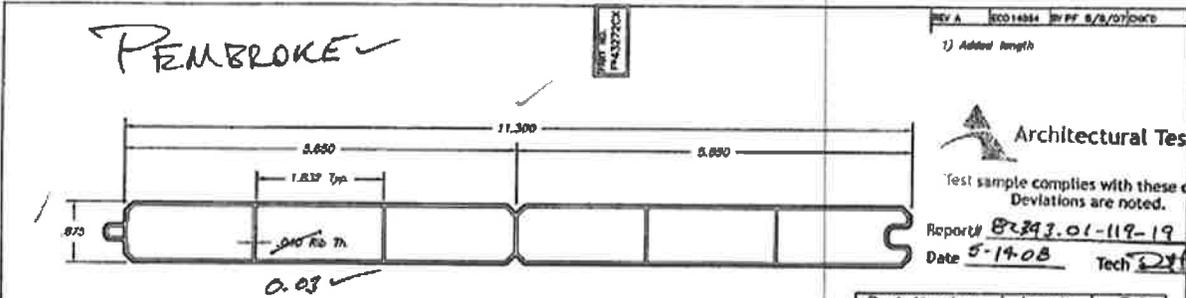


Test sample complies with these details.
Deviations are noted.

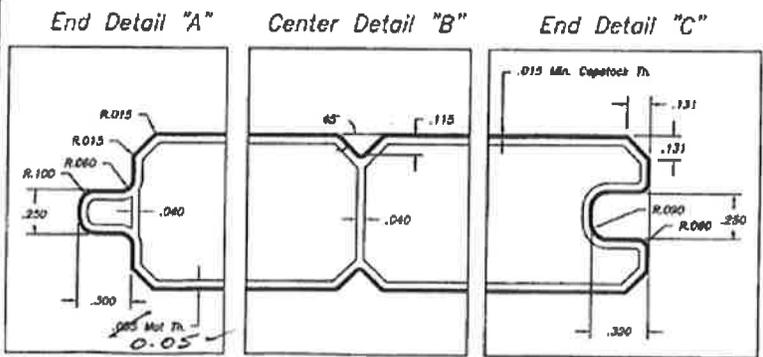
Report# 82343.01-119-19
Date 5-14-08 Tech JTF

- A. OVERALL WIDTH OUTSIDE = 6.312±0.012 ✓
- B. INTERLOCKED WIDTH OUTSIDE = 6.000±0.012
- C. WIDTH OUTSIDE = 0.875±0.005 ✓
- D. GROOVE WIDTH = 0.260±0.005
- E. TONGUE WIDTH = 0.240±0.005
- F. NOMINAL WALL THICKNESS = ~~0.065±0.005~~ 0.04 TO 0.075 ✓
- D. CORNER CHAMFER = 0.093x0.093

WEIGHT PER FOOT - - - = 0.634 LBS.
OVERALL LENGTHS - - - = 16' (BUNDLED)



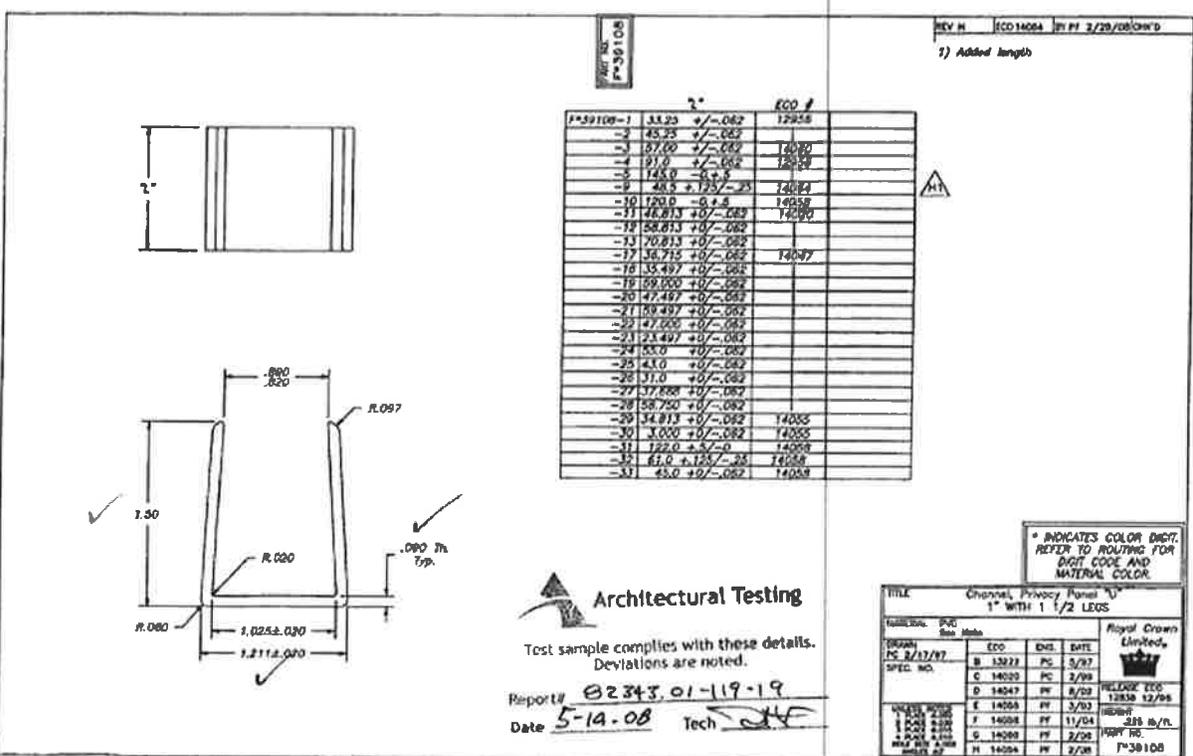
Part Number	Length	Tol.
F*43272-2CX	52.00	±.125
F*43272-3CX	64.00	±.125
F*43272-4CX	49.75	±.125
F*43272-5CX	60.0	±.125
F*43272-6CX	62.0	±.125
F*43272-7CX	60.7	±.125
F*43272-8CX	64.25	±.125
F*43272-9CX	60.625	±.125
F*43272-15CX	181.0	±.500
F*43272-16CX	193.0	±.500



TITLE: Picket, 7/8" x 11.3" Beveled Co-Extruded

ECO	ENG.	DATE
A 14084	PF	5/07

ROYAL CROWN LIMITED
14000
913 Bz
PART NO. F*43272CX

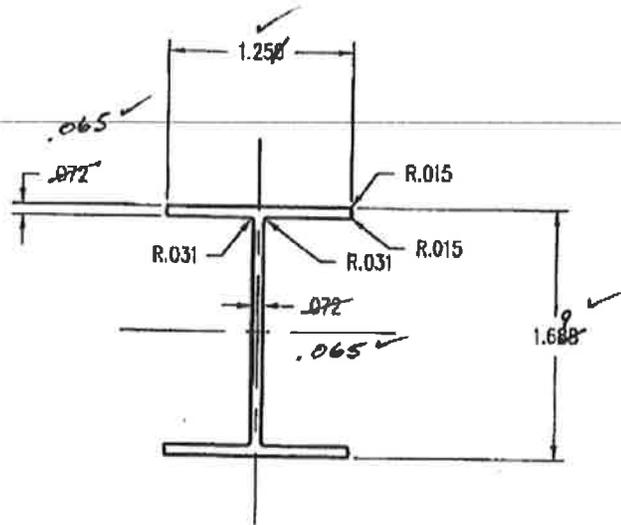


TITLE: Channel, Privacy Panel "A" 1" WITH 1/2 LEGS

ECO	ENG.	DATE
B 13223	PF	5/07
C 14020	PF	3/09
D 14047	PF	6/02
E 14058	PF	3/02
F 14058	PF	11/04
G 14088	PF	3/05
H 14084	PF	2/08

ROYAL CROWN LIMITED
12838 12/05
215 Bz
PART NO. F*38108

PRO-FAB EXTRUSION DIE#
PS101066



Architectural Testing

ACTUAL SIZE

Test sample complies with these details.
Deviations are noted.

Report# 02343.01-119-19

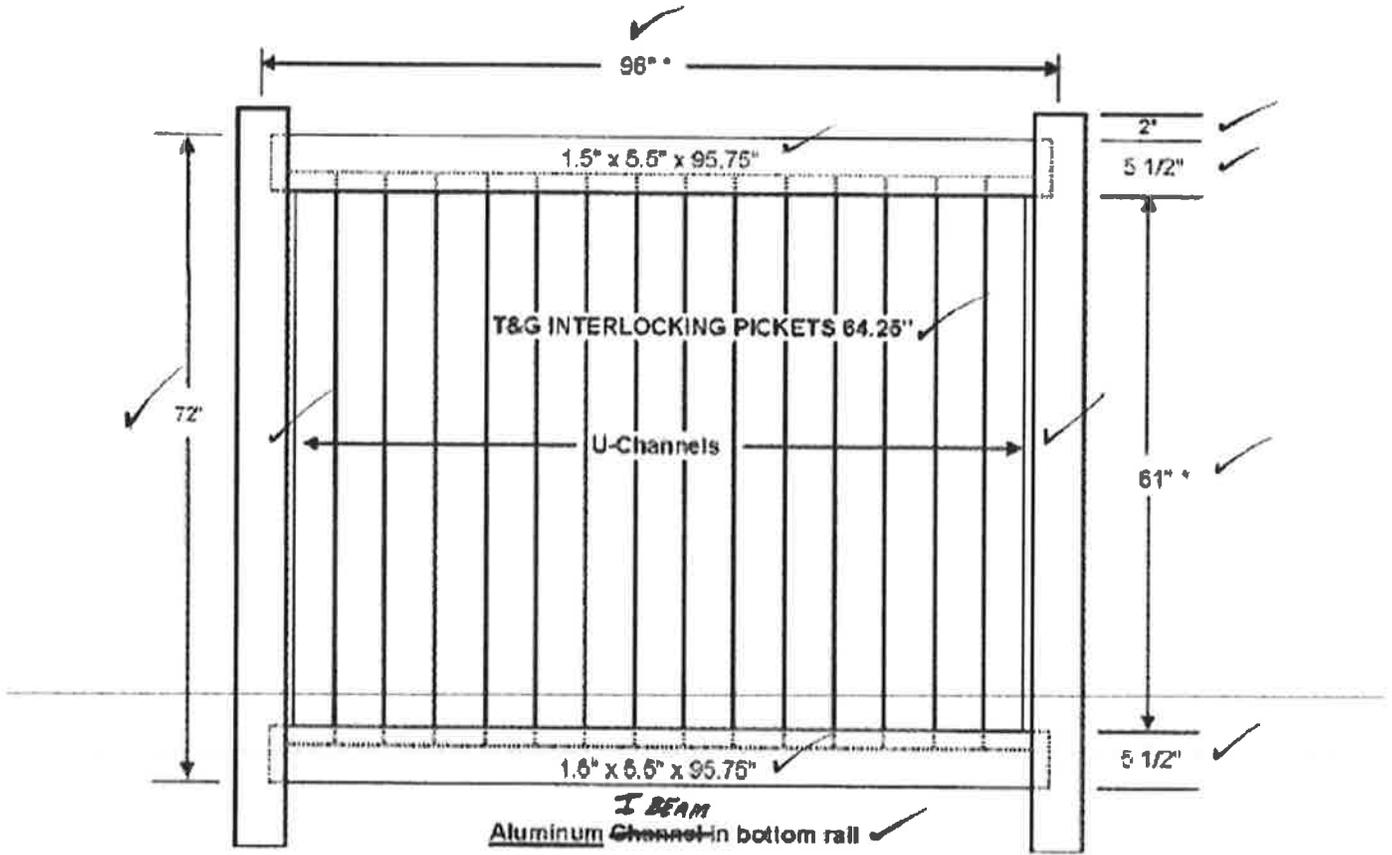
Date 5-14-08 Tech DHF NO EXPOSED SURFACES

UNMARKED WALLS: .072
UNMARKED RADII: .031
BREAK SHARP CORNERS: .015 R

THIS DESIGN DRAWING IS CONFIDENTIAL AND PROPRIETARY, AND IS THE PROPERTY OF PRO-FAB INDUSTRIES, INC. IT IS BEING SHARED WITH THE CUSTOMER IN CONFIDENCE. ©2007 PRO-FAB INDUSTRIES, INC., ALL RIGHTS RESERVED. ALL DATA PROVIDED IN THIS DRAWING IS BELIEVED TO BE REPRESENTATIVE OF EXPECTED PROPERTIES AND FUNCTION, BUT IS NOT TO BE CONSIDERED AS A WARRANTY OF ACTUAL PERFORMANCE. TESTING OF PARTS AND ANY ADJUSTMENT OF THIS DESIGN FOR ACTUAL PERFORMANCE RESTS SOLELY WITH THE CUSTOMER. YOUR SIGNATURE ON THIS PRINT ACKNOWLEDGES THE FOREGOING AND YOUR APPROVAL OF THIS DESIGN AND THE DATA PROVIDED IN THIS DRAWING.

REVISIONS

DESCRIPTION: 1.5 X 5.5 STIFFENER		CUSTOMER: OPEN STOCK	
ALUMINUM ASSOC. STD. TOLERANCES APPLY UNLESS SPECIFICALLY SHOWN OTHERWISE		CITY: PFE	STATE:
DRAWN BY: MJM	DATE: 4-8-08	DIE NO.: PS101066 (also P11B4S)	CUST. DWG. #:
AREA TOTAL 0.2916 SQ. IN.	ALLOY & TEMPER: 6063-T5	SCALE: FULL	DATE: 4-8-08
WT. PER FOOT 0.3499 LBS.	DIE SIZE:	<input checked="" type="radio"/> SOLID <input type="radio"/> SEMI-HOLLOW <input type="radio"/> HOLLOW <input type="radio"/> SPECIAL	
EXTERIOR PER. 8.1273 IN.	HOLES:	Pro-Fab Extrusion, LLC 2415 Wilson Avenue Campbell, Ohio 44405 Mail To: 9308 Massillon Road Dundee, Ohio 44824 Phone: 1-800-872-2638 330-755-4200 Fax: 330-755-8316	
PER TOTAL	BAK:		
FACTOR 23	PRESS: 7"		
CR. CIRCLE: 2	DIE VEND.:	FDR.:	




Architectural Testing

Test sample complies with these details.
 Deviations are noted.

Report# 82343.01-119-19
 Date 5-12-08 Tech CH

General Post Installation - continued

Important - When installing your fence we recommend that a minimum of 1.5" clearance between the bottom of the panel to the ground. This will allow enough clearance for the gate to swing freely.

Step 5

We recommend installing 1 post and 1 section at a time but there are many methods to install, as long as the end result is positive, feel free to alter this method to suit your installation method. Concrete and plumb first post and insert the assembled panel rails into the first post. Next, have the second post just sitting in the adjacent hole, insert assembled panel rails into the second post, then concrete and plumb. Repeat for all panels and posts. Be careful of windy days.

Step 6

To insure a quality job, it is strongly recommended that all post be set in concrete. To do this, hold post in place to prevent slippage. Fill remainder of hole around post with concrete up to 3" below ground level. Be sure to work concrete into hole around post as needed. We recommend you mix concrete and pour wet. Use a minimum of 2 of the 80 lbs. bags of quickcrete for each 5" post and 2 of the 60 lbs. bags for each 4" post.

Architectural Testing
 Test sample complies with these details. Deviations are noted.
 Report# B2342.01-119-19
 Date 5-14-08 Tech DFF
Helpful Hints:

If post does not already have concrete holes from factory, drill a minimum hole of 3/4" dia. 12" up from bottom of post. When gluing picket caps place a thin bead of glue inside the picket and press picket cap into picket. Post Caps should not be glued in the event you want to upgrade. Using a small amount of clear silicone on the inside corner of post cap will properly secure the cap to the post.

Maintenance

Clean your fence using the following formula:
 1/3 cup powdered detergent
 2/3 cup household cleaner
 1 gallon water

For stain removal use one of the following:
 Lacquer Thinner
 Soft Scrub

High wind areas: If the fence is over 8' tall or you are located in a high wind area it is recommended that you fill the "inside" of the posts half way up with concrete AFTER THE PANELS ARE INSTALLED, see figure 3. Prior to installing panels into the posts tape the lower rail to prevent concrete backflow, see figure 2.

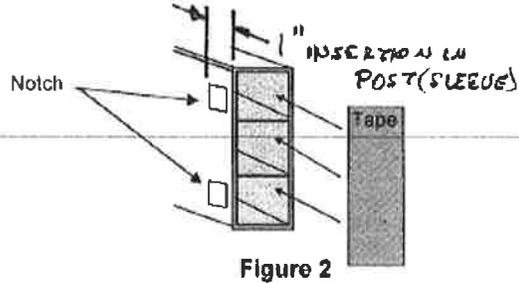


Figure 2

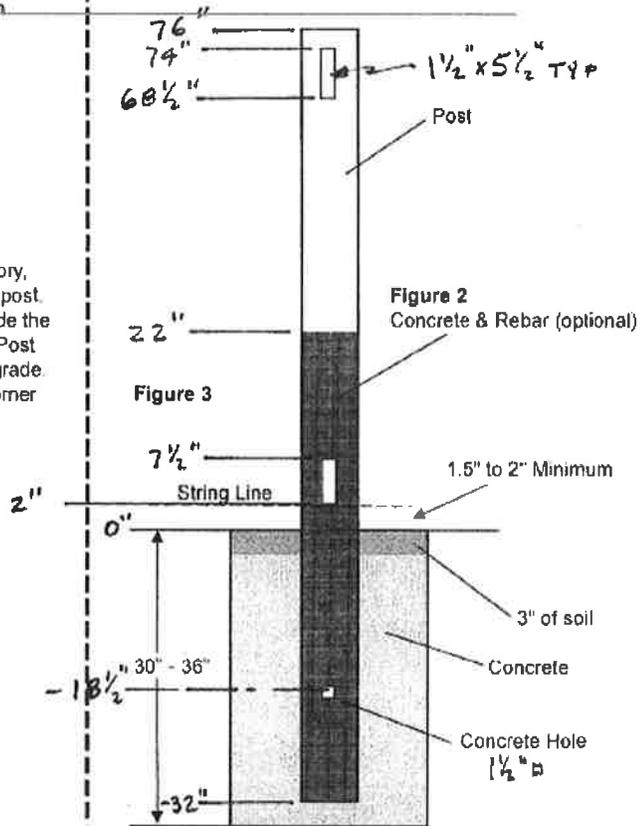
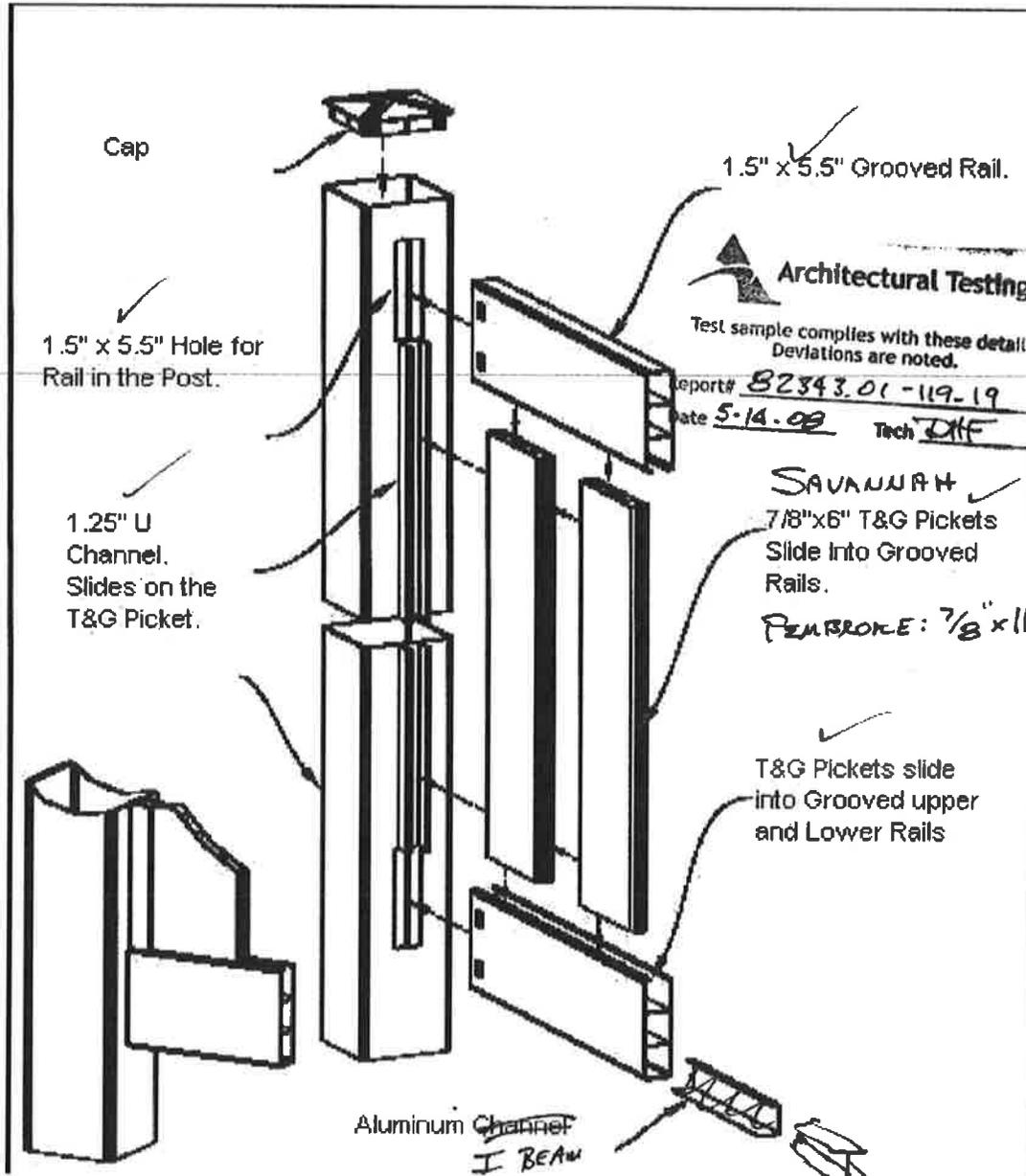


Figure 3
Concrete & Rebar (optional)

CONCRETE FILL HEIGHT:

$$\frac{108}{2} - 32 = 22 \text{ ABOVE GRADE}$$





82343.01-119-19

APPENDIX B

Photographs



Photo No. 1

**Horizontal View through Post Routing Showing Inserted End of Bottom Rail,
Groove Side of First Picket and Aluminum Reinforcement**



Photo No. 2

**Test Specimen in Rigid Test Fixture
48 in from Wind Generator Outlet**



Photo No. 3
Typical Post Reinforcement during Dynamic Wind Load Testing



Photo No. 4
Test Specimen No. 1:
***Savannah* Less Mechanical Fasteners at 90 mph Wind Load**



Photo No. 5
Test Specimen No. 2 and 4:
#10 Screws in Top of Top Rail at Both Ends



Photo No. 6
Test Specimen No. 2:
***Savannah* with Pickets Screwed to Rails at 100 mph Wind Load**



Photo No. 7
Test Specimen No. 3:
***Pembroke* Less Mechanical Fasteners at 90 mph Wind Load**



Photo No. 8
Test Specimen No. 4:
***Pembroke* with Pickets Screwed to Rails at 110 mph Wind Load**



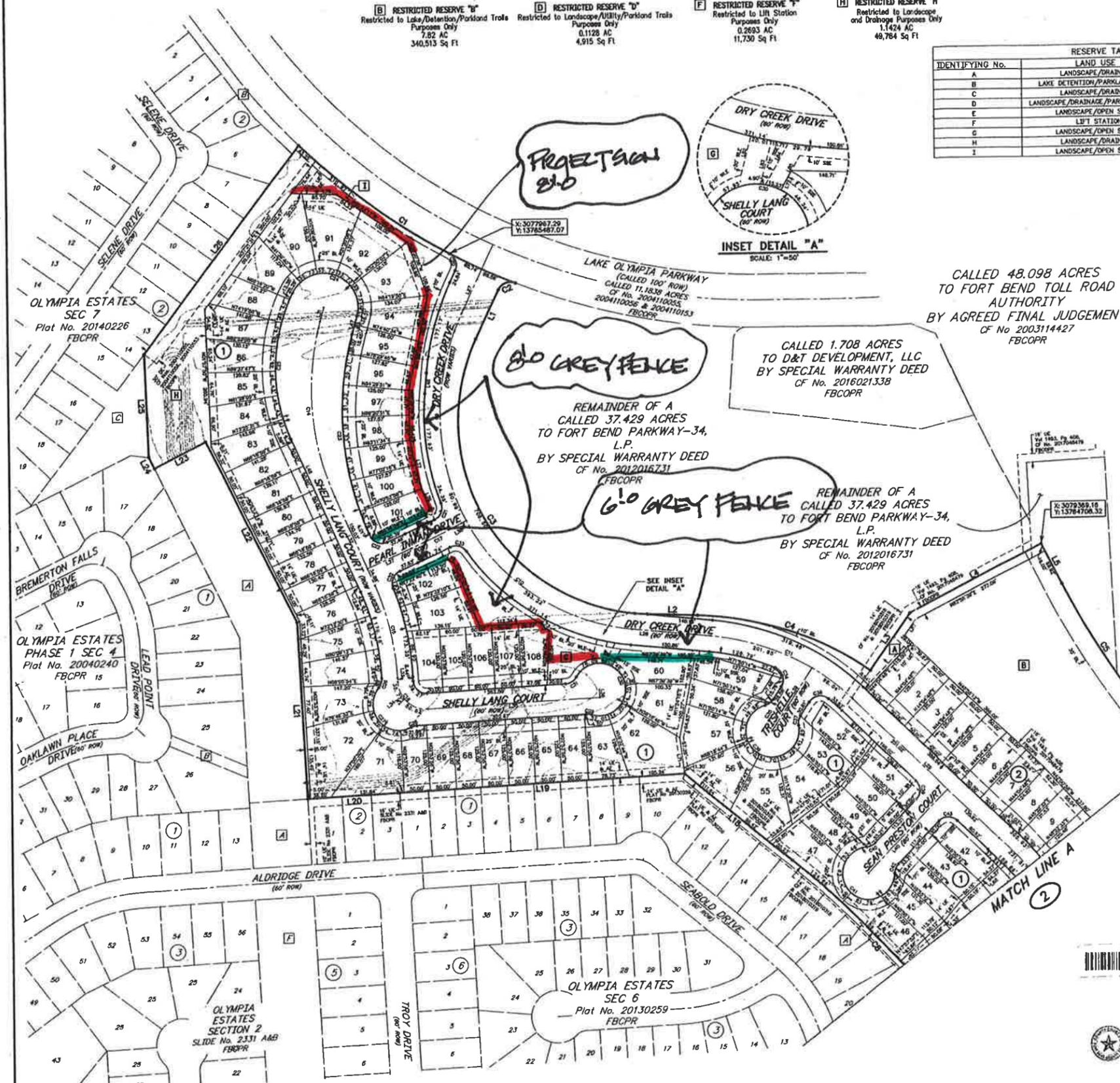
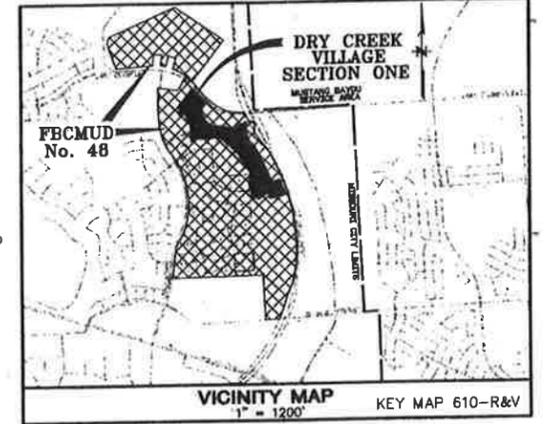
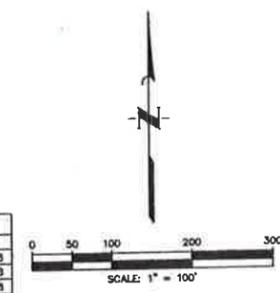
82343.01-119-19

APPENDIX C

Calculations

- A** RESTRICTED RESERVE "A"
Restricted to Landscape/Utility
Purposes Only
0.3284 AC
14,305 Sq Ft
- B** RESTRICTED RESERVE "B"
Restricted to Lake/Detention/Parkland Trails
Purposes Only
1.82 AC
340,513 Sq Ft
- C** RESTRICTED RESERVE "C"
Restricted to Landscape/Utility
Purposes Only
0.1065 AC
4,725 Sq Ft
- D** RESTRICTED RESERVE "D"
Restricted to Landscape/Utility/Parkland Trails
Purposes Only
0.1128 AC
4,915 Sq Ft
- E** RESTRICTED RESERVE "E"
Restricted to Landscape/Open Space
Purposes Only
0.3881 AC
17,343 Sq Ft
- F** RESTRICTED RESERVE "F"
Restricted to Landscape/Open Space
Purposes Only
0.6365 AC
27,724 Sq Ft
- G** RESTRICTED RESERVE "G"
Restricted to Landscape/Open Space
Purposes Only
0.6365 AC
27,724 Sq Ft
- H** RESTRICTED RESERVE "H"
Restricted to Landscape/Open Space
Purposes Only
0.6365 AC
27,724 Sq Ft
- I** RESTRICTED RESERVE "I"
Restricted to Landscape/Open Space
Purposes Only
0.6365 AC
27,724 Sq Ft
- J** RESTRICTED RESERVE "J"
Restricted to Landscape/Open Space
Purposes Only
0.6365 AC
27,724 Sq Ft

IDENTIFYING No.	LAND USE	ACREAGE	OWNER
A	LANDSCAPE/DRAINAGE	0.4601	FBCMUD No. 48
B	LAKE DETENTION/PARKLAND TRAILS	7.8181	FBCMUD No. 48
C	LANDSCAPE/DRAINAGE	0.1171	FBCMUD No. 48
D	LANDSCAPE/DRAINAGE/PARKLAND TRAILS	0.1128	FBCMUD No. 48
E	LANDSCAPE/OPEN SPACE	0.4034	FBCMUD No. 48
F	LANDSCAPE/OPEN SPACE	0.2893	FBCMUD No. 48
G	LANDSCAPE/OPEN SPACE	0.6365	FBCMUD No. 48
H	LANDSCAPE/OPEN SPACE	1.1424	FBCMUD No. 48
I	LANDSCAPE/OPEN SPACE	0.6028	FBCMUD No. 48



General Notes

- 1) A one-foot reserve (1' reserve) has been dedicated to the public in fee as a buffer separation between the side or end of streets in subdivision plots where such streets abut adjacent storage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the title thereto shall revert in the public, his heirs, assigns or successors.
- 2) All cul-de-sac radii are fifty feet (50'), unless otherwise noted.
- 3) All block corner and cul-de-sac return to longest radii are twenty five feet (25').
- 4) All easements are centered on lot lines unless shown otherwise.
- 5) All easements are centered on lot lines unless shown otherwise.
- 6) All building lines along street right-of-way as shown on the plat.
- 7) Elevation shown hereon are based on Missouri City Survey Control Monument Marker No. PCM-003 located at the northwest corner of Sennos Parkway and Transrail-Franso Road with a published elevation of 86.07 feet, NAVD 83, 2001 Adjustment.
- 8) Sidewalks shall be constructed as required by section 82-164 of the Code of Ordinances of the City of Missouri City, Texas.
- 9) Required fire flow shall be provided based on the size and construction of all buildings as required by the International Fire Code as adopted by the City.
- 10) All drainage and floodway easements shall be kept clear of fences, buildings, plantings and other obstructions to the operations and maintenance of the drainage facility as required by Subsection 82-168(d) of the Code of Ordinances of the City of Missouri City, Texas.
- 11) All slab elevations shall be one foot above the 100-year flood elevation as established by FEMA on per Section 3.C. (11) of the Administrative Platting Manual of the City of Missouri City (June 2014).
- 12) Restricted Reserve "A" is restricted to landscape/drainage purposes only and shall be provided as required by the plat.
- 13) Restricted Reserve "B" is restricted to lake detention purposes only and shall be provided as required by the plat.
- 14) Restricted Reserve "C" is restricted to landscape/utility purposes only and shall be provided as required by the plat.
- 15) Restricted Reserve "D" is restricted to landscape/utility purposes only and shall be provided as required by the plat.
- 16) Restricted Reserve "E" is restricted to landscape/open space purposes only and shall be provided as required by the plat.
- 17) Restricted Reserve "F" is restricted to landscape/open space purposes only and shall be provided as required by the plat.
- 18) Restricted Reserve "G" is restricted to landscape/open space purposes only and shall be provided as required by the plat.
- 19) Restricted Reserve "H" is restricted to landscape/open space purposes only and shall be provided as required by the plat.
- 20) Restricted Reserve "I" is restricted to landscape/open space purposes only and shall be provided as required by the plat.
- 21) Restricted Reserve "J" is restricted to landscape/open space purposes only and shall be provided as required by the plat.
- 22) All drainage and floodway easements shall be kept clear of fences, buildings, plantings and other obstructions to the operations and maintenance of the drainage facility as required by Subsection 82-168(d) of the Code of Ordinances of the City of Missouri City, Texas.
- 23) There shall be a rear building line of not less than 10 feet for the lot in question and a building street side of corner lots, the combined side yards between a building on the lot in question and a building on an adjacent lot shall be not less than ten feet. There shall be a side yard of not less than three feet for necessary buildings or garages on interior lots.
- 24) There shall be a side yard of not less than five feet for interior lots and not less than ten feet for the lot in question and a building street side of corner lots, the combined side yards between a building on the lot in question and a building on an adjacent lot shall be not less than ten feet. There shall be a side yard of not less than three feet for necessary buildings or garages on interior lots.
- 25) Garages facing a side street must have a setback of not less than 20 feet.
- 26) Coordinates shown hereon are Texas Coordinate System, South Central Zone (Grid) NAD 83 Combined scale factor = 0.999859752.
- 27) Driveway Location - for the lot on the inside of a bridge or 90 degree turn, driveway must be placed on the lot frontage along the inside approach lane prior to the right turn, to avoid sight obstruction safety hazards.
- 28) Bearings shown hereon are based on Texas Coordinate System, South Central Zone NAD 83.
- 29) All drainage and floodway easements shall be kept clear of fences, buildings, plantings and other obstructions to the operations and maintenance of the drainage facility as required by Subsection 82-168(d) of the Code of Ordinances of the City of Missouri City, Texas.
- 30) All slab elevations shall be one foot above the 100-year flood elevation as established by FEMA on per Section 3.C. (11) of the Administrative Platting Manual of the City of Missouri City (June 2014).
- 31) A parkland dedication was approved by the Missouri City Council on March 6, 2017 for the provisions of trees as noted on the plat and for a cash payment for 50% of the total number of residential lots.
- 32) The subject plot is located within the boundaries of PD, Planned Development District #88 (Ordinance 0-16-15) and is subject to the regulations and restrictions of the PD #88 including Exhibit C, Residential Builder Guidelines.
- 33) The easement recorded in Clerk's File No. 2017020006 and referenced on the City Planning Letter dated November 21, 2017 is a Short Form Blanket Easement for Certain Utilities with no legal description or exhibit showing a route. The tract to be platted shown hereon is affected by this blanket easement.

DRY CREEK VILLAGE SECTION ONE

A SUBDIVISION OF 48.80 ACRES OF LAND
OUT OF THE
H. SHROPSHIRE SURVEY, A-313
ELIJAH ROARK LEAGUE, A-77
CITY OF MISSOURI CITY,
FORT BEND COUNTY, TEXAS

150 LOTS 9 RESERVES 2 BLOCKS

FEBRUARY 2018

23 pgs 2018032734

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Laura Richard, County Clerk
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March 29, 2018 02:21:16 PM
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DC DEVELOPMENT PARTNERS, LP
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713-627-1015

ENGINEER/PLANNER/SURVEYOR:
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More expensive than wood

Can be damaged by high temperatures

WOOD FACTS

Less expensive than other types of fences

Susceptible to insect, rot, and water damage

A traditional look with a classic style

Typically high level of maintenance is required

Environmentally safe using natural wood

Could be built from any design or form you choose

Vinyl and wood fencing options are both reliable forms of fences. Additionally, both will add character to the yard and home. Imagining that the built fence gives you a sense of security and privacy, along with adding value to the home. When considering the options between vinyl and wood fencing you would not be disappointed with either one being beneficial to you. Be sure to hire an expert such as D&D fence that can help you make the decision to install the perfect fence properly for your beautiful home.

If your family is considering adding value, unique style, safety, and privacy to the home choosing vinyl or wood fencing would be the best option. Ensuring the fence is properly built, fitting to the yard, valued at a fair price, with a great look call D&D Fence for a complimentary quote today at (936) 271-4333.

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WOOD VS. VINYL FENCING

April 12, 2016 By [MMC Fencing & Railing](#)

Wood is a tough competitor. With its long history, its many virtues, and its popularity, wood once dominated the fencing market. However, these days it must compete with technologically advanced materials, many of which offer exceptional benefits at a great value. So who could possibly compete with wood? Vinyl, that's who! First introduced in the 1980s, vinyl fencing lasts much longer than wood, requires virtually no maintenance, and won't be destroyed by wood's archenemies (*termites, fungus, dry rot, and fire*). However, vinyl is somewhat more expensive than wood. So which should you choose if you're planning to build a new fence: wood or vinyl? We're going to make your decision a little easier by pitting wood vs. vinyl fencing in a head-to-head match. Who will the victor be? Stick around to find out!



Wood vs. Vinyl Fencing

DURABILITY

Which product is stronger? Which can withstand turbulent weather? Which will live the longer life? Vinyl wins this first match hands-down. Vinyl can stand up to harsh weather, pests, decay, and fungus. In fact, without any help from you, it can easily last decades. Although wood can last around 20 years, it will break down over time and you will have to repair and replace the fence's lumber. The type of wood will affect the product's durability as well, as some species of wood are more structurally strong and resistant to rot and decay (cedar and redwood are best). If you want your wood fence to last awhile, you will need to invest in a pressure-treated and chemically-treated product, and you may need to apply a preservative sealant. What a hassle! Stick with vinyl if you want a strong, long-lasting fence.

Winner: Vinyl is the clear victor when it comes to wood vs. vinyl fencing durability.

SELECTED FOR YOU: [What to Look for in a Vinyl Fence](#)

MAINTENANCE

Vinyl fencing requires no maintenance whatsoever. Although you may want to hose it off from time to time to remove built up dirt, that chore will often be performed by the rain! Wood, on the other hand, requires an abundance of work if you want it to look clean and presentable and last for many years to come. It will need to be cleaned periodically, treated, stained every year for the first three years, and stained every other year after that (and unfortunately, staining can be

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expensive and time-consuming). Plus, wood rots as the years go by. As it warps and begins to fall apart, you will need to replace the damaged lumber.

Winner: Vinyl wins by a landslide, because it requires virtually no maintenance at all.

COST

Vinyl is more expensive than wood at the outset. After your initial investment, however, you won't have to pay anything. Except in cases of extreme weather, your vinyl fencing should stay secure and beautiful for years and years to come without costly maintenance or repairs. Wood, while cheaper upfront, does require frequent treatments and stains. And because it doesn't last as long as vinyl, you will probably need to replace the fence at some point if you live in your home for longer than 10-15 years. When considering wood vs vinyl fencing, also consider the size of your project. If your budget is small but your yard is large, you may want to go with wood (unless you plan to live in this home 15 years down the line). But if the area you will be fencing in is small and you can afford the upfront cost, choose vinyl.

SELECTED FOR YOU: [PolyVinyl Fence Systems](#)

Winner: Wood costs less upfront, but vinyl is a better value in the long run.

AESTHETICS

Many people prefer the look of a real wood fence. It is traditional, offers an all-American appeal, and has a lot of character. However, wood also breaks down more quickly. Although it will arrive in mint condition, over time it may become discolored, decayed, rotten, and perhaps even consumed by termites or other pests. All this to say: if you want your fence to remain pristine and beautiful, choose vinyl. You won't have to worry about chipping paint, fading stain treatments, termites, or weathering. Plus, vinyl is now available in a variety of colors and styles, some of which even mimic real wood. Whichever material you choose, be sure to select a high-quality fence and have it installed correctly, as these factors will influence the fence's aesthetic appeal as well.

Winner: This depends on your style, but vinyl remains beautiful for longer.

Wood vs. Vinyl Fencing

THE WINNER IS . . .

Wood vs. vinyl fencing: which is best? With its lengthy life, lack of maintenance, formidable strength, and beautifully versatile appearance, vinyl should be your preferred choice for fencing. Although it is more expensive upfront, it provides a better return on investment and won't require regular (and costly) maintenance like wood fencing. Unless you're looking to fence a very large area and you also don't plan to live in your current home very long, we promise that you will be happier with a vinyl fence in the long run.

When you're ready to purchase a new vinyl fence, check out the [MMC Fencing & Railing](#) online store. We ship our products nationwide and provide installation in the southwest Missouri area. You might be interested in our *PolyVinyl*, *PolyRail*, and *Designer* fencing systems:

- **PolyVinyl Fence Systems:** The PolyVinyl system includes a variety of fence styles: privacy, semi-privacy, picket, and ornamental. Many of the sections are aluminum reinforced and include aluminum post stiffeners, and you can choose from a variety of post caps and classic colors. The gate systems feature corrosion-resistant screws for long-term strength, and adjustable hinge hardware provides accurate alignment. Plus, they are all made in the USA!
- **PolyRail Vinyl Fence Systems:** The PolyRail system is a green series that provides inexpensive and lifelong beauty. The series includes privacy fences (tongue-and-groove), yard fences, picket fences, and post-and-rail fences, which are all available in white and tan. Interlocking fasteners ensure that the privacy fences are stable and secure, and matching gates are available for many of the product lines. Plus, heavy-duty frames are available for some of the post-and-rail fences, allowing for equine applications.
- **Designer Fencing:** The Designer Fencing system is available in three heights, 48", 60", and 72", and aluminum frames can be purchased separately. There are nine standard in-fill colors (white and various shades of tan and light brown), and eleven colors for the aluminum

components and gate frames (black, white, tan, gray, brown, and green). Plus, the product is wrapped in secure, three-step packaging to ensure that it arrives free of damage.

SELECTED FOR YOU: [The Impact of Weather on Fencing](#)

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- [Aluminum Handrails](#)
- [Aluminum Porch Railing](#)
- [Metal Handrail](#)
- [Metal Railing](#)
- [Porch Railing](#)





WIND DESIGN PRESSURE ANALYSIS

Ref. ASCE 7-98

Privacy Fence
10/06/06

Component: 6-ft. Privacy Fence

Date: 05/16/08

ASCE 7-98
Ref.

Basic Wind Speed, $V_{3s} = 130$ mph (eq. 110 mph V_{fm})	
Structure Classification, Category: I Low Hazard	Tbl. 1-1
Exposure Category (A, B, C, D): C	6.5.6.1
Exposure Coefficient, $K_z = 0.85$	Tbl. 6-5
Topographic Factor, $K_{zt} = 1.0$	
Directionality Factor, $K_d = 1.0$	Tbl. 6-6
Importance Factor, $I = 0.77$ (Hurricane Prone Region)	Tbl. 6-1
Velocity Pressure, $q_z = 0.00256 K_z K_{zt} K_d V^2 I = 28.3$ psf	
<i>Note: Values do not account for wind speed-up over hills and escarpments</i>	
Gust Effect Factor, $G = 0.85$	6.5.8
Net Force Coefficient, $C_f = 1.2$	Tbl. 6-11
Design Wind Force, $F = q_z G C_f A_f$ ($A_f =$ Projected Area, ft ²)	6.5.13

Design Load:

Hgt.	Length	A_f	F (lb)
6.0	8.0	48.0	1386



WIND DESIGN PRESSURE ANALYSIS

Ref. ASCE 7-98

Privacy Fence
10/06/06

Component: 6-ft. Privacy Fence

Date: 05/16/08

ASCE 7-98
Ref.

Basic Wind Speed, $V_{3s} = 110$ mph (eq. 90 mph V_{fm})
 Structure Classification, Category: I Low Hazard
 Exposure Category (A, B, C, D): C
 Exposure Coefficient, $K_z = 0.85$
 Topographic Factor, $K_{zt} = 1.0$
 Directionality Factor, $K_d = 1.0$
 Importance Factor, $I = 0.77$ (Hurricane Prone Region)

Tbl. 1-1
6.5.6.1
Tbl. 6-5
Tbl. 6-6
Tbl. 6-1

Velocity Pressure, $q_z = 0.00256 K_z K_{zt} K_d V^2 I = 20.3$ psf

Note: Values do not account for wind speed-up over hills and escarpments

Gust Effect Factor, $G = 0.85$
 Net Force Coefficient, $C_f = 1.2$

6.5.8
Tbl. 6-11

Design Wind Force, $F = q_z G C_f A_f$ ($A_f =$ Projected Area, ft^2)

6.5.13

Design Load:

Hgt.	Length	A_f	F (lb)
6.0	8.0	48.0	994

Planned Development District Amendment Current Conditions – Site Pictures

PD #88 – Dry Creek Village (Lake Olympia Parkway & Dry Creek Drive)



View looking east, from Vicksburg Blvd

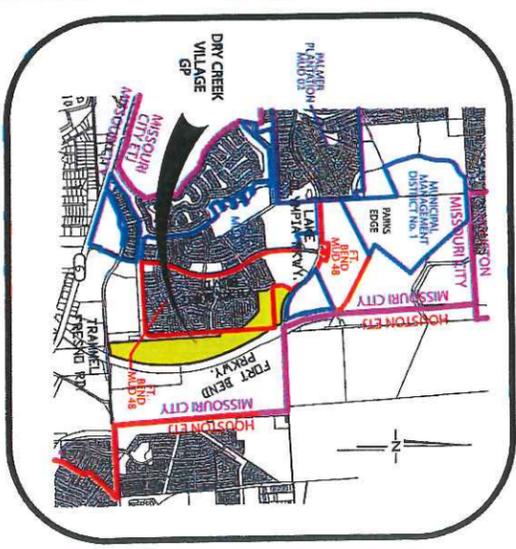
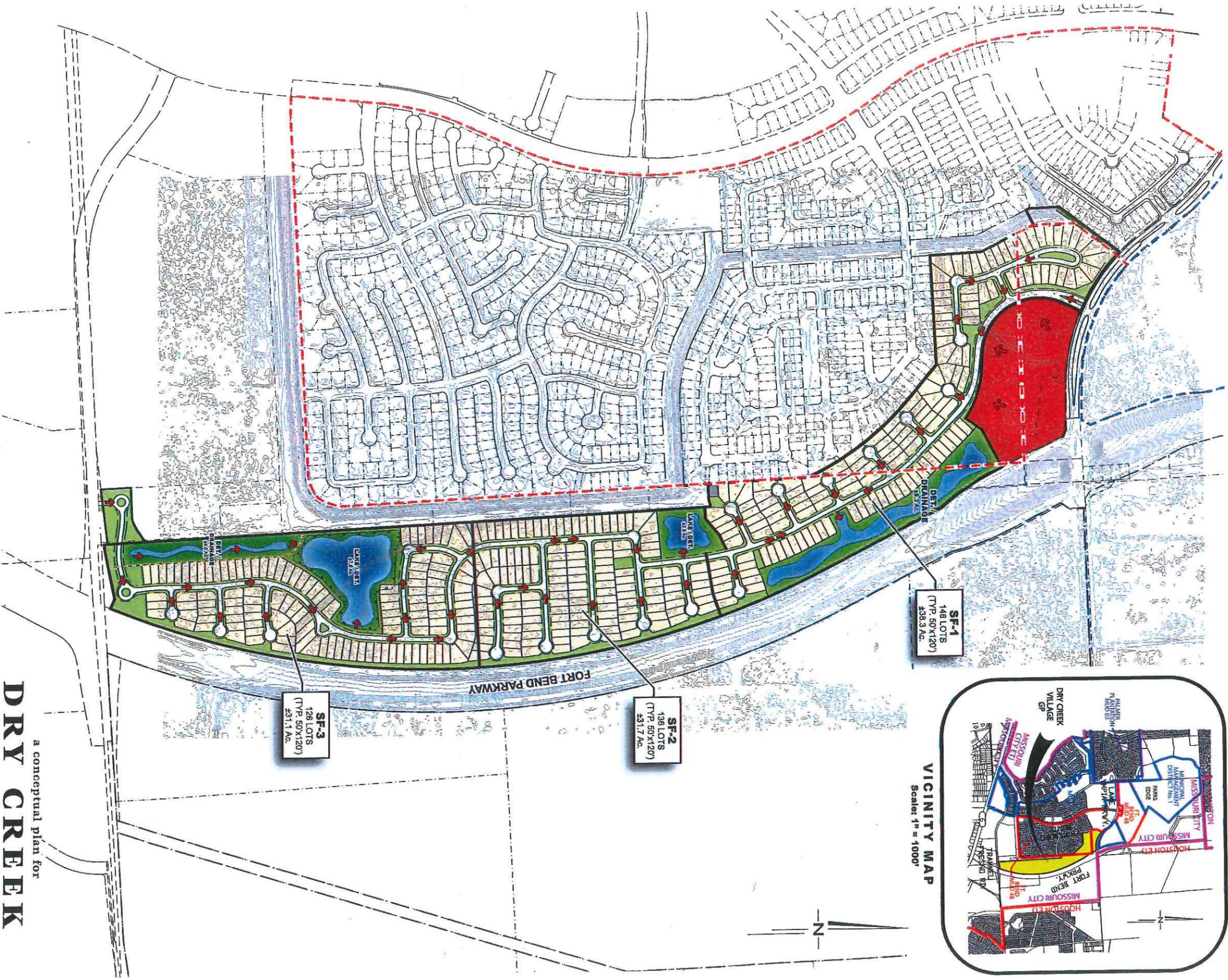


View looking southwest, towards Dry Creek Village with Olympia Estates in background



View looking southwest, toward Dry Creek Village with Olympia Estates in the background

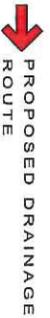




LAND USE ANALYSIS

RESIDENTIAL	65.2 Ac.
50'X120' /	412 LOTS
	65.2 Ac.
COMMERCIAL	12.5 Ac.
	12.5 Ac.
OPEN SPACE	31.7 Ac.
LAKES/DETENTION	22.5 Ac.
OPEN SPACE & L/S BUFFERS	9.2 Ac.
CIRCULATION	24.0 Ac.
UTILITIES	0.2 Ac.
LIFT STATION	0.2 Ac.

PROJECT TOTALS 133.6 Ac.



DRY CREEK VILLAGE
± 133.6 ACRES OF LAND

a conceptual plan for

OUT OF THE ELIJAH ROARK LEAGUE, ABSTRACT NO. 77
FORT BEND COUNTY, TEXAS
ENGINEER/SURVEYOR:
JONES | CARTER
6330 West Loop South, Suite 150
Beaumont, Texas 77401
Attn: Mr. Sean Burch
OWNERS:
FT. BEND PARKWAY . LP
FLC PARKWAY, LLP
CITY OF MISSOURI CITY
PLANNER:



— Land Planning Consultants —
23501 Cinco Ranch Blvd., Suite A-250
Katy, Texas 77454
Tel: 281-579-0340

MARCH 7, 2017
KGA #17002C



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ORDINANCE NO. O-16-13

AN ORDINANCE OF THE CITY OF MISSOURI CITY, TEXAS, AMENDING REGULATIONS IN PD PLANNED DEVELOPMENT DISTRICT NO. 88; REGULATING AND RESTRICTING THE DEVELOPMENT AND USE OF PROPERTY WITHIN SUCH PD PLANNED DEVELOPMENT DISTRICT; AMENDING THE ZONING DISTRICT MAP OF THE CITY OF MISSOURI CITY; PROVIDING FOR AN AMENDMENT TO THE COMPREHENSIVE PLAN; PROVIDING FOR REPEAL; PROVIDING A PENALTY; PROVIDING FOR SEVERABILITY; AND CONTAINING OTHER PROVISIONS RELATING TO THE SUBJECT.

* * * * *

WHEREAS, FLC Parkway LP is the owner of approximately 395.44 acres of land and Ft Bend Parkway-34 LP is the owner of approximately 37.43 acres of land for a total of approximately 432.87 acres of land within the corporate limits of the City of Missouri City, Texas (the "Property"); and

WHEREAS, said Property presently has a zoning classification of PD Planned Development District No. 88 under Ordinance No. O-13-05, adopted on January 22, 2013; and

WHEREAS, the owners' agent, Kathryn Edwards of KRG/RBB, Inc., also known as BGE Kerry R. Gilbert, has made application to the City of Missouri City to amend PD Planned Development District No. 88 to incorporate single-family residential uses on land that was previously designated for business park uses and to incorporate commercial uses on land that was previously designated for multifamily residential uses; and

WHEREAS, pursuant to Section 8.3 of the City of Missouri City Zoning Ordinance, said application was submitted to the City of Missouri City with proof of notice to all of the other property owners within PD Planned Development District No. 88; and

WHEREAS, the Planning and Zoning Commission and the City Council of the City of Missouri City have each conducted, in the time and manner and after the notice required by law and the City of Missouri City Zoning Ordinance, a public hearing on such requested amendment; and

WHEREAS, the City of Missouri City Planning and Zoning Commission has issued its final report and the City Council of the City of Missouri City now deems it appropriate to grant such requested amendment; now therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MISSOURI CITY, TEXAS:

Section 1. The facts and recitations set forth in the preamble of this Ordinance are hereby found to be true and correct.

Section 2. As required by law, the City Council of the City of Missouri City conducted the public hearing on the request for zoning amendments and closed the public hearing prior to the final adoption of this Ordinance.

Section 3. The Property is more fully described in Exhibit "A," attached hereto and made a part hereof for all purposes, and is depicted in Exhibit "B," the concept plan, attached hereto and made a part hereof for all purposes.

Section 4. PD Planned Development District No. 88 shall be developed in accordance with the Missouri City Code, including the City of Missouri City Zoning Ordinance, and shall be developed generally in accordance with Exhibit "B," and is subject to the following regulations and restrictions:

A. Purpose. PD Planned Development District No. 88 may include a combination of uses consisting of LC-3 retail district uses, BP business park district uses, and R-2 single-family residential district uses. Improvements to the site shall be designed to enhance the overall urban design and nature of the surrounding area.

B. Use regulations. In PD Planned Development District No. 88, no building, structure, or land shall be used and no building or structure shall be hereafter erected, reconstructed, altered or enlarged except as provided in this Ordinance.

1. The following uses shall be located within the subdistricts designated on Exhibit "B" as set forth below:

- a. Except as provided in Subsection 4.B.1.b of this Ordinance, LC-3 retail district uses may be located only within the Commercial Northeast, Commercial Northwest, and Commercial Southeast Subdistricts.
- b. BP business park district uses may be located only within the Business Park East Subdistrict.
- c. R-2 single-family residential district uses may be located only within the Single-family Residential Subdistrict.

2. The following uses shall be prohibited:

- a. sexually oriented businesses;
- b. quarry, mine, sand and mineral extraction uses; and

c. sanitary landfills.

C. Use district regulations. Except as set forth in Subsections 4.D to 4.K of this Ordinance, the following use district regulations shall apply within the designated subdistricts:

1. Commercial Northeast, Commercial Northwest, and Commercial Southeast Subdistricts: LC-3 retail district regulations contained in Subsection 7.12 of the City of Missouri City Zoning Ordinance shall apply.
2. Business Park East Subdistrict: BP business park district regulations contained in Subsection 7.1255 of the City of Missouri City Zoning Ordinance shall apply.
3. Single-family Residential Subdistrict: R-2 single-family residential district regulations contained in Subsection 7.3 of the City of Missouri City Zoning Ordinance shall apply.

D. Height and area regulations. The height and area regulations for the subdistricts set forth below shall be as follows:

1. Commercial Northeast, Commercial Northwest, and Commercial Southeast Subdistricts: Except as set forth herein, the height and area regulations for LC-3 retail districts contained in Subsection 7.12 of the City of Missouri City Zoning Ordinance shall apply.
 - a. The maximum building height shall be based on the ratio of one foot of height for each 1.75 feet of distance from the exterior portion of a building nearest to the nearest property line within a residential zoning district to the nearest property line in the nearest residential zoning district.
 - b. Buildings shall be set back at least 25 feet from the right-of-way line of the Fort Bend Parkway.
2. Business Park East Subdistrict: Except as set forth herein, the height and area regulations for BP business park district contained in Subsection 7.1255 of the City of Missouri City Zoning Ordinance shall apply.
 - a. The maximum building height shall be based on the ratio of one foot of height for each 1.75 feet of distance from the exterior portion of a building nearest to the nearest property line within a residential zoning district to the nearest property line in the nearest residential zoning district.

- b. Buildings shall be set back at least 25 feet from the right-of-way line of the Fort Bend Parkway.

E. Building regulations. The building regulations within the planned development district shall be as follows:

1. Horizontal and vertical building planes shall be interrupted by offsets, changes in building materials, colors, textures, or other methods allowed in Section 7A, Architectural Design Standards, of the City of Missouri City Zoning Ordinance.
2. Architectural details that create shade and cast shadows shall be incorporated to provide visual relief.
3. Any uninterrupted street-facing facade may not exceed 100 feet in length. A building facade of more than 100 feet in length that faces a public street shall have offsets with a minimum depth of at least five feet and a minimum length extending at least 20 percent of the length of such building facade.
4. Exterior lighting shall be shielded to prohibit illumination in excess of 0.25 footcandles of average general light overflow or 0.50 footcandles at any point on the boundary of an adjacent residential zoning district.

F. Architectural standards. The architectural standards within the planned development district shall be as follows:

1. Commercial Northeast, Commercial Northwest, Commercial Southeast, and Business Park East Subdistricts: Except as set forth herein, all buildings and structures constructed in PD Planned Development District No. 88 to which Section 7A, Architectural Design Standards, of the City of Missouri City Zoning Ordinance applies, shall be constructed in accordance with Section 7A, Architectural Design Standards, of the City of Missouri City Zoning Ordinance.
 - a. The following materials may not be installed on the exterior of a building:
 - i. Vinyl siding, wood-fiber hardboard siding, oriented strand board siding, plastic, and fiberglass panels;
 - ii. Unfired or underfired clay, sand, or shale brick;
 - iii. Smooth or untextured concrete surfaces; and
 - iv. Exterior insulation and finish system (EIFS).

- b. A single building material may not cover more than 80 percent of the front exterior of any building.
 - c. The architectural design, color, and materials of all facades facing or siding a public street, internal access drive, or pedestrian walkway shall match for the following:
 - i. an independent business establishment; and
 - ii. multiple buildings within an integrated business development or a shopping center.
 - d. The architectural design, color, and materials of screening walls, wing walls, columns, and similar building extensions and supports shall match the building to which they are attached.
2. Single-family Residential Subdistrict: All residential buildings and structures located within the Single-family Residential Subdistrict shall be constructed in accordance with the architectural guidelines contained in Exhibit "C," the Residential Builder Guidelines, attached hereto and made a part hereof for all purposes.

G. Landscaping regulations. The landscaping regulations within the planned development district shall be as follows:

- 1. Commercial Northeast, Commercial Northwest, and Commercial Southeast Subdistricts: Except as set forth herein, the landscaping, screening, and buffer yard regulations contained in Section 11, Landscaping, of the City of Missouri City Zoning Ordinance shall apply.
 - a. The minimum depth for buffer yards abutting the areas specified below shall be as follows:
 - i. Fort Bend Parkway: 20 feet
 - ii. Other public streets: 20 feet
 - iii. Internal access drives: 10 feet
 - iv. All other property lines: 5 feet
 - b. At the time of planting, canopy trees shall have a minimum four-inch caliper and be a minimum of 10 feet in height as measured at ground level. Canopy trees may be clustered or spaced linearly and are not required to be spaced evenly.
- 2. Single-family Residential Subdistrict: The landscaping, screening, and buffer yard regulations shall be as follows:

- a. A landscape or open space buffer a minimum of 25 feet in depth shall be provided between Fort Bend Parkway and the rear property line of single-family residential lots. A masonry wall a minimum of eight feet in height shall be provided along the property line of single-family residential lots adjacent to the landscape or open space buffer. Landscaping within the landscape or open space buffer shall consist of a combination of trees, shrubs and berms. At the time of planting, canopy trees and understory trees within the landscape or open space buffer shall have a minimum three-inch caliper. Berms with a slope of a minimum ratio of four to one and a minimum of two feet in height shall be provided within the landscape and open space buffer.
- b. A landscape or open space buffer a minimum of 20 feet in depth shall be provided between nonresidential uses adjoining single-family residential uses. No parking, paving, or buildings shall be installed within the landscape or open space buffer. A masonry wall a minimum of eight feet in height and one canopy tree per 30 linear feet of buffer area shall be provided within the landscape or open space buffer. At the time of planting, canopy trees within the landscape or open space buffer shall have a minimum three-inch caliper.

H. Ingress and Egress. Ingress and egress within the planned development district shall be as follows:

- 1. A pedestrian walkway shall be provided to connect the primary entrance of a nonresidential building to a sidewalk abutting a public street. For a nonresidential use with a parking area located between a public street and the nonresidential building, at least one pedestrian walkway shall be provided to and through the associated parking area to connect any nonresidential building entrance of such building to a sidewalk abutting the public street.

I. Parking regulations. Except as set forth herein, the parking regulations contained in Section 12, Parking Regulations, of the City of Missouri City Zoning Ordinance shall apply.

- 1. The minimum setback for nonresidential parking facilities abutting the areas specified below shall be as follows:
 - a. Fort Bend Parkway: 20 feet
 - b. Other public streets: 20 feet

- c. Internal access drives: 10 feet
 - d. All other property lines: 5 feet
2. Bicycle parking: An off-street parking area for bicycles shall be provided within 50 feet of a primary employee or visitor entrance of each building. Such parking area shall include racks and other structures intended for parking bicycles.
- J. Garages.** Except as set forth in Exhibit "C," construction of garages within the Single-family Residential Subdistrict shall comply with Section 9.8, Garages, of the City of Missouri City Zoning Ordinance.
- K. Fence Regulations.** Except as set forth herein and in Exhibit "C," fences installed within the Single-family Residential Subdistrict shall comply with Section 14, Fence Regulations, of the City of Missouri City Zoning Ordinance. A homeowners association or property owner association shall be responsible for maintaining community fencing within the Single-family Residential Subdistrict.
- L. Conflicts.** Except as set forth in Subsections 4.D, 4.E, 4.F, 4.G, 4.H, 4.I, 4.J, and 4.K, in the event that any exhibit to this Ordinance conflicts with the Missouri City Code, the Missouri City Code shall prevail.
- M. Development schedule.** Pursuant to Section 8, PD Planned Development District, of the City of Missouri City Zoning Ordinance the property shall be developed in accordance with the development schedule attached hereto as Exhibit "D" and made a part hereof for all purposes. This Ordinance shall expire on the fifth anniversary of the date the first permit application was filed for this project, provided no progress has been made toward the completion of this project.

Section 5. The Zoning District Map of the City of Missouri City shall be revised and amended to show the zoning classification of said 432.87-acre tract of land with the appropriate references thereon to the number and effective date of this Ordinance and a brief description of the nature of these changes.

Section 6. This Ordinance shall in no manner amend, change, supplement, or revise any provision of any ordinance of the City of Missouri City, save and except the changes in zoning classification described in Section 3 hereof and the imposition of the findings, regulations, restrictions and conditions contained herein.

Section 7. *Comprehensive plan deviation.* To the extent this Ordinance represents any deviation from the Future

Land Use and Character map of the City of Missouri City Comprehensive Plan, such map is hereby amended to conform with this Ordinance.

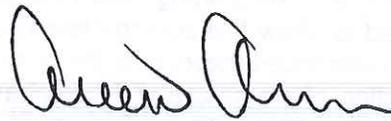
Section 8. Repeal. Ordinance Number O-13-05, adopted by the City Council of the City of Missouri City on January 22, 2013, is hereby repealed only to the extent of conflict with this Ordinance. Any ordinance or any other part of any other ordinance in conflict herewith shall be and is hereby repealed only to the extent of such conflict.

Section 9. Penalty. Any person, firm, partnership, association, corporation, company, or organization of any kind who or which violates any provision of this zoning ordinance shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be fined in an amount not to exceed Five Hundred Dollars (\$500.00). Each day during which said violation shall exist or occur shall constitute a separate offense. The owner or owners of any property or of premises where any violation of this zoning ordinance shall occur, and any agent, contractor, builder, architect, person, or corporation who shall assist in the commission of such offense shall be guilty of a separate offense unless otherwise prohibited by law and, upon conviction thereof, shall be punished as above provided.

Section 10. Severability. In the event any section, paragraph, subdivision, clause, phrase, provision, sentence or part of this Ordinance or the application of the same to any person or circumstance shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Missouri City, Texas, declares that it would have passed each and every part of the same notwithstanding the omission of any such part thus declared to be invalid or unconstitutional, or whether there be one or more parts.

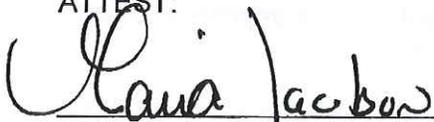
PASSED and APPROVED on first reading this 4th day of April, 2016.

PASSED, APPROVED and ADOPTED on second and final reading this 18th day of April, 2016.



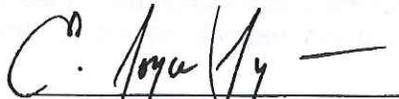
Allen Owen, Mayor

ATTEST:



Maria Jackson, City Secretary

APPROVED AS TO FORM:



E. Joyce Iyamu, City Attorney

Exhibit A (Metes and bounds description of subject 432.87-acre tract of land)

Page 1 of 6

Tract 1 appearing to contain a portion of the Commercial Northeast and the Business Park East subdistricts and containing all of the Multifamily subdistrict as shown on Exhibit "B," the concept plan.

**METES AND BOUNDS
OLYMPIA ESTATES COMMERCIAL TRACT I**

BEING a 152.586 acre tract situated in the Elijah Roark League Survey, Abstract 77, Fort Bend County, Texas same being Tract 11A of Olympia Estates. Said 152.586 acre tract being more particularly described by metes and bounds as follows (all bearings are referenced to the Texas Coordinate System, South Central Zone (nad83):

BEGINNING at a 5/8-Inch iron rod with cap stamped "COTTON" found for the intersection of the northwest line of a 80-foot wide H L & P Fee Strip recorded in Volume 495, Page 659, Fort Bend County Deed Records (FBCDR) and the east boundary line of Olympia Estates;

THENCE, South 19°38'12" West, 2339.12 feet along said northwest line of the 80-foot wide H L & P Fee Strip to the centerline of a Proposed 80-foot wide Collector Road;

THENCE, along the centerline of said Collector Road, THE FOLLOWING:

273.94 feet along the arc of a curve to the left, having a radius of 800.00 feet, a central angle of 19°37'11" and chord which bears North 23°17'47" West, 272.61 feet to a point of tangency;

North 33°06'22" West, 519.69 feet to a point of curvature;

1008.22 feet along the arc of a curve to the right, having a radius of 2010.00 feet, a central angle of 28°44'23" and a chord which bears North 18°44'11" West, 997.68 feet to a point of tangency;

North 04°21'59" West, 330.66 feet to a point of curvature;

708.67 feet along the arc of a curve to the right, having a radius of 2010.00 feet, a central angle of 20°12'03" and a chord which bears North 05°44'02" East, 705.00 feet to a point of tangency;

North 15°50'03" East, 178.95 feet to a point of curvature;

687.32 feet along the arc of a curve to left, having a radius of 1190.00 feet, a central angle of 33°05'34", and a chord which bears North 00°42'43" West, 677.80 feet to a point of tangency;

North 17°15'30" West, 130.28 feet to a point of curvature;

890.16 feet along the arc of a curve to the right, having a radius of 3010.00 feet, a central angle of 18°56'39" and a chord which bears North 08°47'10" West, 886.92 feet to a point of tangency;

North 00°18'51" West, 793.93 feet to a point for corner in the north line of Senior Road (variable width Roadway Easement) as recorded in Volume 446, Page 42 and Volume 446, Page 49 FBCDR;

THENCE, South 89°54'41" East, 1806.62 feet to the east boundary line of Olympia Estates;

THENCE, South 00°17'18" West, 3100.93 feet to the POINT OF BEGINNING and containing a computed area of 152.586 acres (6,646,629 square feet) of land.

Exhibit A (Metes and bounds description of subject 432.87-acre tract of land)

Page 2 of 6

Tract 2 appearing to contain a portion of the Commercial Northeast subdistrict and the Business Park East subdistrict as shown on Exhibit "B," the concept plan.

**METES AND BOUNDS.
OLYMPIA ESTATES COMMERCIAL TRACT 2**

BEING a 116.302 acre tract situated in the Cochran and McCluar Survey, Abstract 191, Fort Bend County, Texas. Said 116.302 acre tract being more particularly described by metes and bounds as follows (all bearings are referenced to the Texas Coordinate System, South-Central Zone (NAD83):

BEGINNING at a 1/2-inch iron rod set for the southwest corner of said 116.302 acre tract; same also being east R.O.W. corner of a Proposed Fort Bend County Toll Road with a variable R.O.W. width;

THENCE, Northwestery, along west property line, same also being the east R.O.W. line of said Proposed Fort Bend County Toll Road, with a curve to the left, having a radius of 5,879.60 feet, an arc length of 4,992.03' a chord bearing of N00°20'03"W, and a chord length of 4752.91' to a point of tangency;

THENCE, N 24°10'28" W, continuing along west property line, a distance of 807.08 feet to an angle point;

THENCE, N 11°34'52" W, continuing along west property line, a distance of 68.96 feet to a point of curvature;

THENCE, Northwestery, continuing along west property line, with a curve to the left, having a radius of 1,453.39 feet, an arc length of 319.45', a chord bearing of N 17°52'40"W, a chord length of 318.81 feet to a point of tangency;

THENCE, N 24°10'28" W, continuing along west property line, a distance of 289.05 feet to an angle point;

THENCE, N 23°37'13" W, continuing along west property line, a distance of 106.91 feet to an angle point;

THENCE, N 38°55'39" E, continuing along west property line, a distance of 61.27 feet to an angle point;

THENCE, N 00°04'56" E, continuing along west property line, a distance of 98.12 feet to an angle point;

THENCE, N 89°55'04" W, continuing along west property line, a distance of 15.22 feet to an angle point;

THENCE, N 53°23'49" W, continuing along west property line, a distance of 9.98 feet to an point marking the northwest corner and north property line of said 116.302 acre tract;

THENCE, S 89°54'41" E, along north property line, a distance of 1,300.91 feet to an angle point marking the northeast corner of said 116.302 acre tract;

Exhibit A (Metes and bounds description of subject 432.87-acre tract of land)

Page 3 of 6

Tract 2 (Continued)

THENCE, S 00°18'51" E, along east property line, a distance of 793.93 feet to a point of curvature;

THENCE, Southeasterly, continuing along east property line, with a curve to the left, having a radius of 3,010.00 feet, an arc length of 890.16', a chord bearing of S 08°47'10" E and a chord length of 886.92 feet to a point of tangency;

THENCE, S 17°15'30" E, continuing along east property line, a distance of 130.28 feet to a point of curvature;

THENCE, Southeasterly, continuing along east property line, with a curve to the right, having a radius of 1,190.00 feet, an arc length of 687.32', a chord bearing of S 00°42'43" E, and a chord length of 677.80 feet to a point of tangency;

THENCE, S 15°30'03" W, continuing along east property line, a distance of 178.96 feet to a point of curvature;

THENCE, Southwesterly, continuing along east property line, with a curve to the right, having a radius of 2010.00 feet, and an arc length of 708.66 feet, a chord bearing of S 05°44'02" W, a chord length of 705.00 feet to a point of tangency;

THENCE, S 04°21'59" E, continuing along east property line, a distance of 330.66 feet to a point of curvature;

THENCE, Southeasterly, continuing along the east property line, with a curve to the left, having a radius of 2010.00 feet, and an arc length of 1068.22 feet, a chord bearing of S 18°44'11" E, a chord length of 997.68 feet to a point of tangency;

THENCE, S 33°06'22" E, continuing along east property line, a distance of 519.69 feet to a point of curvature;

THENCE, Southeasterly, continuing along the east property line, with a curve to the right, having a radius of 800.00 feet, and an arc length of 273.94 feet, a chord bearing of S 23°17'47" E, a chord length of 272.71 feet to an angle point;

THENCE, S 19°38'12" W, along the east property line, a distance of 1188.58 feet to an angle point marking the southeast corner of said 118.302 acre tract;

THENCE, S 89°06'43" W, along the south property line, a distance of 257.43 feet to a point of curvature;

THENCE, Westerly, continuing along the south property line, with a curve to the left, having a radius of 17130.73 feet, and an arc length of 118.10 feet, a chord bearing of S 89°18'33" W, a chord length of 118.10 feet to a point of tangency;

THENCE, S 89°30'22" W, continuing along south property line, a distance of 40.75 feet to an angle point;

THENCE, N 86°20'48" W, continuing along south property line, a distance of 401.05 feet to an angle point;

THENCE, N 82°48'17" W, continuing along south property line, a distance of 276.38 feet to the POINT OF BEGINNING and containing 118.302 acres and 5,066,122.07 square feet;

Exhibit A (Metes and bounds description of subject 432.87-acre tract of land)

Page 4 of 6

Tract 3 appearing to contain a portion of the Single-family Residential subdistrict as shown on Exhibit "B," the concept plan.

**METES AND BOUNDS
OLYMPIA ESTATES COMMERCIAL TRACT 3**

BEING a 88.1380 acre tract situated in the Cochran and McCluer Survey, Abstract 191, Fort Bend County, Texas. Said 88.1380 acre tract being more particularly described by metes and bounds as follows (all bearings are referenced to the Texas Coordinate System, South Central Zone (NAD83):

BEGINNING at a 1/2-inch iron rod set for the southwest corner of said 88.1380 acre tract;

THENCE, North, along west property line, a distance of 747.53 feet to an angle point;

THENCE, N 00°00'04" W, continuing along west property line, a distance of 398.98 feet to an angle point;

THENCE, N 00°00'01" E, continuing along west property line, a distance of 3,095.34 feet to an angle point;

THENCE, N 00°00'01" E, continuing along west property line, a distance of 1,389.79 feet to a point of curvature set for corner, same also being east property line of said 88.1380 acre tract;

THENCE, Southeasterly, continuing along east property line, with a curve to the right, having a radius of 1,453.39 feet, an arc length of 87.07', and a chord bearing of S 33°53'10" E, and a chord length of 87.06 feet to a point of curvature;

THENCE, Southeasterly, continuing along east property line, with a curve to the right, having a radius of 1,453.39 feet, an arc length of 99.64', a chord bearing of S 35°36'09" E and a chord length of 99.44 feet to an angle point;

THENCE, S 23°57'22" E, continuing along east property line, a distance of 871.96 feet to a point of curvature;

THENCE, Southeasterly, continuing along east property line, with a curve to the right, having a radius of 5,579.60 feet, an arc length of 4,878.69', a chord bearing of S 00°45'16" W and a chord length of 4664.89 feet to an angle point for the southeast corner of said 88.1380 acre tract

THENCE, S 62°06'03" W, along the south property line, a distance of 69.12 feet to an angle point;

THENCE, S 81°15'24" W, continuing along the south property line, a distance of 321.85 feet to an angle point;

THENCE, S 85°22'13" W, continuing along south property line, a distance of 19.91 feet to the POINT OF BEGINNING and containing 88.1380 acres and 383,9290.95 square feet;

Exhibit A (Metes and bounds description of subject 432.87-acre tract of land)

Page 5 of 6

Tract 4 appearing to contain a portion of the Single-family Residential subdistrict and all of the Commercial Northwest subdistrict as shown on Exhibit "B," the concept plan.

FIELD NOTES FOR 37.429 ACRES

Being a tract of land containing 37.429 acres located in the Elijah Roark League, Abstract Number 77, in Fort Bend County, Texas; Said 37.429 acre tract being a called 37.429 acre tract of land recorded in the name of Point Center Financial, Inc., in Fort Bend County Clerk's File (F.B.C.C.F.) Number 2009050702; Said 37.429 acre tract being more particularly described by metes and bounds as follows (bearings are referenced to said 37.429 acre tract as described in F.B.C.C.F. Number 2009050702):

BEGINNING at a 5/8-inch iron rod found at the most northerly corner of said 37.429 acre tract, the northeast corner of a called 35.971 acre tract of land recorded in the name of Graham Mortgage Corporation in F.B.C.C.F. Number 2011022711 and being on the southerly right-of-way (R.O.W.) line of Lake Olympia Parkway (100-foot wide) as described in F.B.C.C.F. Number 2004110055;

Thence, with said southerly R.O.W. line, the following two (2) courses:

1. 962.26 feet along the arc of a curve to the left, said curve having a central angle of 44 degrees 06 minutes 25 seconds, a radius of 1,250.00 feet and a chord bearing: South 64 degrees 38 minutes 47 seconds East, a distance of 938.68 feet to a 5/8-inch iron rod found;
2. South 86 degrees 41 minutes 59 seconds East, a distance of 222.99 feet to 5/8-inch iron rod found at the transition from said southerly R.O.W. line to the R.O.W. line of Fort Bend Parkway (width varies) as described in F.B.C.C.F. Number 2003114427;

Thence, with said R.O.W. line, the following four (4) courses:

1. South 89 degrees 35 minutes 18 seconds East, a distance of 68.39 feet to a 5/8-inch iron rod found;
2. South 64 degrees 36 minutes 16 seconds East, a distance of 51.01 feet to a 5/8-inch iron rod found;
3. 315.88 feet along the arc of a curve to the left, said curve having a central angle of 03 degrees 03 minutes 08 seconds, a radius of 5,929.60 feet and a chord bearing: South 22 degrees 36 minutes 54 seconds East, a distance of 315.84 feet to a 5/8-inch iron rod found;
4. South 24 degrees 10 minutes 28 seconds East, a distance of 84.53 feet to a 5/8-inch iron rod found on the west line of a called 19.6971 acre tract of land recorded in the name of Fort Bend County Municipal Utility District No. 48 in F.B.C.C.F. Number 9889821;

Thence, with said west line, South 00 degrees 00 minutes 00 seconds East, a distance of 1,312.88 feet to a 5/8-inch iron rod found at the most southerly corner of said 37.429 acre tract, the northeast corner of Olympia Estates Phase 1 Section 3, a subdivision recorded in Slide Number 20040238 of the Fort Bend County Plat Records (F.B.C.P.R.), and being the most easterly corner of a called 16.996 acre tract of land recorded in the name of Graham Mortgage Corporation in F.B.C.C.F. Number 2011022711;

Thence, with lines common to said 37.429 acre tract and said 16.996 acre tract, the following three (3) courses:

1. 862.06 feet along the arc of a curve to the left, said curve having a central angle of 25 degrees 12 minutes 40 seconds, a radius of 1,959.15 feet and a chord bearing of North 34 degrees 50 minutes 48 seconds West, a distance of 855.12 feet to a 5/8-inch iron rod found;
2. North 47 degrees 24 minutes 00 seconds West, a distance of 263.29 feet to a 5/8-inch iron rod found;
3. North 90 degrees 00 minutes 00 seconds West, at a distance of 542.59 feet pass the northwest corner of said 16.996 acre tract and the most northerly northeast corner of Olympia Estate Section 2, a subdivision recorded in Slide Numbers 2331 A&B of the F.B.C.P.R., in all, a distance of 717.60 feet to the southeast corner of Restricted Reserve "A", Olympia Estates Phase 1 Section 4, a subdivision recorded in Slide Number 20040240 of the F.B.C.P.R.;

Thence, with said Restricted Reserve "A", the following three (3) courses:

1. North 00 degrees 00 minutes 00 seconds East, a distance of 336.02 feet to a 5/8-inch iron rod found;
2. North 23 degrees 18 minutes 16 seconds West, a distance of 384.41 feet to a 5/8-inch iron rod found;
3. South 66 degrees 41 minutes 44 seconds West, a distance of 110.00 feet to a 5/8-inch iron rod found on the east line of Lot 17, Block 1, of said Olympia Estates Phase 1 Section 4;

Thence, with said east line, North 23 degrees 18 minutes 16 seconds West, a distance of 23.62 feet to the northeast corner of said Lot 17 and being a southeasterly corner of aforesaid 35.971 acre tract;

Thence, with the easterly lines of said 35.971 acre tract, the following two (2) courses:

1. North 00 degrees 56 minutes 10 seconds East, a distance of 196.32 feet to a 5/8-inch iron rod found;
2. North 40 degrees 15 minutes 31 seconds East, a distance of 491.52 feet to the POINT OF BEGINNING and containing 37.429 acres of land.

Exhibit A (Metes and bounds description of subject 432.87-acre tract of land)

Page 6 of 6

Tract 5 appearing to contain the entire Commercial Southeast subdistrict as well as an area noted as Open Space/Utility as shown on Exhibit "B," the concept plan and described below as Tract 7 containing 38.4163 acres.

TRACT 5:

Of 38.4163 Acres or 1,673,415 Square Feet of land being part of the remainder of that certain 50 Acre tract of land, conveyed to HERMANN HEALTH CARE SYSTEM, Inc. by a deed recorded under Clerk's File No. 9774265, of the Fort Bend County Deed Records (F.B.C.D.R.), lying in the ELIJAH ROARK LEAGUE Survey, Abstract No. 77, in Fort Bend County, Texas, said 38.4163 Acre tract is more particularly described by metes and bounds as follows:

BEGINNING at the North Right-of-Way of Trammel - Fresno Road, (A Variable Width Right-of-Way as monument and occupied), at the Southwest corner of that certain 961.03 Acre tract of land conveyed to TEAL RUN, LTD & TEAL RUN No. 2, LTD by a deed recorded under Volume 1923, Page 868, F.B.C.D.R, from which a 5/8 inch iron rod with a Cotton Cap found North, 1.98 feet, and West, 0.39 feet;

THENCE South 84 deg. 17 min. 58 sec. West, along the North Right-of-Way of said Trammel - Fresno Road, a distance of 380.11 feet to a point for corner, from which a 5/8 inch iron rod was found North, 0.15 feet, and East, 0.14 feet;

THENCE South 88 deg. 08 min. 32 sec. West, along the North Right-of-Way of said Trammel Fresno Road, a distance of 711.97 feet to a 5/8 inch iron rod found at a point for corner at the Southeast corner of that certain 6.269 Acre tract of land conveyed to HOUSTON LIGHTING AND POWER Co. by a deed recorded under Volume 495, Page 659, F.B.C.D.R.;

THENCE North 19 deg. 38 min. 12 sec. East, along the Southeast line of said 6.269 Acre tract of land, a distance of 3289.59 feet to a point for corner, from which a 5/8 inch iron rod with a Cotton Cap was found North, 0.98 feet;

THENCE South 00 deg. 17 min. 18 sec. West, along the West line of said 961.03 Acre tract of land, a distance of 3049.90 feet to the **POINT OF BEGINNING**, containing within these calls 38.4163 Acres or 1,673,415 Square Feet of land as depicted on sheet 4 of 4 of a plat prepared by Donald K. Hall, R.P.L.S. No. 4070, dated November 20, 2000, revised February 13, 2001, and June 28, 2001.

The above description as found in Exhibit A of a deed recorded under Clerk's file number 2011012748 of the Fort Bend County Deed Records.

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KERRY R. GILBERT & ASSOCIATES

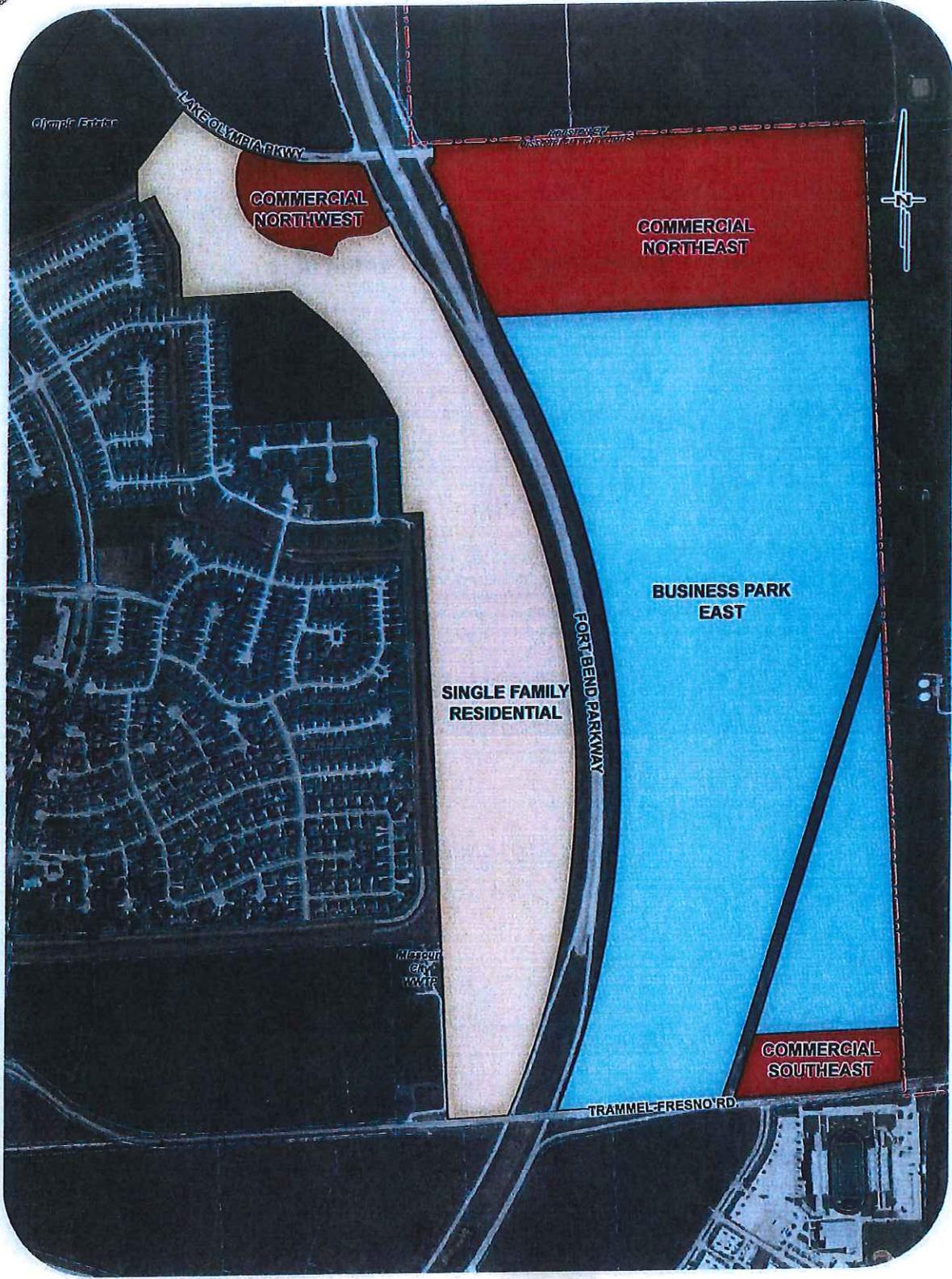


Exhibit B
Concept Plan
 Page 1 of 1

an exhibit for
FT. BEND PARKWAY TRACT
PD 88



— Land Planning Consultants —
 23501 Choco Ranch Blvd., Suite A-250
 Katy, Texas 77494

7000 North Mopac, Suite 330 Austin, TX 78731
 2505 Dallas Parkway, Suite 204 Frisco, TX 75034

Tel: 281-579-0340



DECEMBER 18, 2018
 KOA #17002C

THIS DRAWING IS A PICTORIAL REPRESENTATION FOR PRESENTATION PURPOSES ONLY AND IS SUBJECT TO CHANGE. FURTHER, SAID DRAWING IS A SCANNED IMAGE ONLY AND IS NOT FOR COMPUTATION OR CONSTRUCTION PURPOSES. THIS DRAWING MAY OR MAY NOT INCORPORATE INFORMATION AND/OR DATA PROVIDED TO BGE | KERRY R. GILBERT & ASSOCIATES BY OTHER CONSULTANTS RELATIVE TO ENGINEERING AND DRAINAGE, FLOOD PLAINS AND ENVIRONMENTAL ISSUES AND SHOULD NOT BE RELIED UPON FOR ANY PURPOSE. NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACTUAL DESIGN, LOCATION, AND CHARACTER OF THE FACILITIES SHOWN ON THIS MAP ARE INTENDED. ADDITIONALLY, NO WARRANTY IS MADE TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

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RESIDENTIAL BUILDER GUIDELINES

Prepared By:



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 - h. Grading, Drainage and Berms

- II. Architectural Guidelines**
 - a. Square Footage Requirements
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 - c. Masonry Requirements
 - d. Materials
 - e. Chimneys
 - f. Roofs
 - g. Garages
 - h. Signage

I. Site Plan Guidelines

Prior to constructing on a lot, the builder must submit the required information for review and approval by all applicable entities. All regulations listed within this document, the Planned Development District and any other applicable ordinances shall be adhered to. In the event of a conflict with City adopted codes and regulations, including the International Building Code, Fire Code and Public Infrastructure Design Manual, the most restrictive requirement shall prevail.

1) Lot types/ Building Setbacks

- a) The following lot types are permitted within the development.
 - i) Interior Lot - Front, rear and side yards are adjacent to neighboring lots
 - ii) Corner Lot – A lot that adjoins another lot on the side and rear and is adjacent to the street on the other side.
 - iii) Greenbelt lot - A lot that backs to a greenspace, park, detention area and/or any similar landscape/open space.
 - iv) Patio Lot – A lot that is positioned to one side of the property. The side yard setback is only required on one side of the property.

All building setbacks will be in compliance with those set forth within the R-2 Zoning District

2) Garages

- a) All lots must have a garage that will accommodate a minimum of 2 vehicles side by side.
- b) On a corner lot, the garage must be located on the opposite side of the lot of the street.
- c) Three car garages
 - i) 3 car tandem garages are allowed
 - ii) side by side three (3) car garages are not allowed.

3) Driveways

- a) Width
 - i) On attached garages, the driveway must be a minimum of eighteen (18) feet in width
 - ii) For detached garages, the minimum width must be ten (10) feet at the property line.
 - iii) No driveway shall be greater than twenty (20) feet at the property line
- b) Location
 - i) Driveways must be located on one side of the lot. Driveways should not be centered on the lot.
- c) Materials
 - i) Driveways must be constructed of concrete and/or pavers
 - ii) Asphalt paving, stone, timber borders, and loose gravel are prohibited.
- d) Radius
 - i) All driveways shall have a minimum radius of five (5) feet at the curb
- e) Setback
 - i) No driveway shall be located closer than two (2) feet from the side property line.

4) Sidewalks

- a) All sidewalks must meet the rules and regulations set forth within the City's Public Infrastructure Design Manual

- b) Sidewalks must be a minimum of five (5) feet in width
- c) Sidewalks must be constructed of concrete
- d) With the exception of cul de sacs, sidewalks should be located not closer than two (2) feet from the right of way

5) Walkways

- a) A walkway a minimum of three (3) feet must be provided on all homes.
- b) The walkway may lead from the front of the home to the street or from the front of the home to the driveway.
- c) All walkways that connect to the front sidewalk must be perpendicular where they intersect.
- d) Walkways may be composed of concrete and/or decorative pavers

6) Fencing

- a) Fences must be installed on all lots.
- b) The front fence must begin a minimum of ten (10) feet and a maximum of fifteen (15) feet from the front elevation.
- c) On corner lots, the fence must be located a minimum of five (5) feet from the side property line.
- d) Unless specified elsewhere in this section, all fences shall be a minimum of six (6) feet in height
- e) All fencing visible from the public must be installed good side facing out.
- f) All interior fencing must be composed of a good neighbor fence. A good neighbor fence is composed of alternating panels.
- g) Greenbelt lots
 - i) A four (4) foot tall tubular steel fence is required on all fences adjacent greenspace, detention and/or lakes.
 - ii) Where a four (4) foot tubular steel fence is required, a 4' to 6' wood transition panel must be used at the transition for the tubular steel fence to the typical wood fence.
- h) Gates
 - i) A six (6) foot tall by three (3) foot wide wood gate may be placed on one side of the front fence facing the street.
 - ii) All gates must be self-closing and self-latching.

7) Grading, Drainage, Berms

- a) Each lot shall be graded so that storm water will drain from the rear property line through the side yard and front yard to the abutting street and not across adjacent lots or reserves. Minimum grade shall be 1.0 percent (1%). Exceptions will be made in those instances where existing topography dictates an alternate lot grading plan.

II. Architectural Guidelines

The following Architectural guidelines are intended to establish minimum criteria for the construction of homes within the development. All construction must be high quality and incorporate a mixture of roofline and elevation articulation.

1) Square Footage Requirements

a) All homes must meet the applicable square footage requirements:

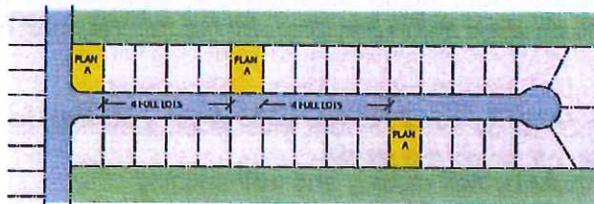
Lot Size	Minimum
50'	1,500
55'	1,800
60'	2,100

2) Housing Plan and Elevation Repetition

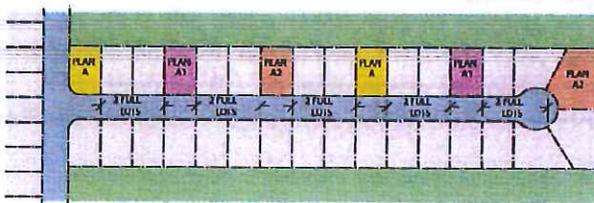
a) The following three scenarios represent the guidelines for determining when a plan and elevation can be repeated within the subdivision:

- i) When building the same plan, same elevation, on the same side of the street or on both sides of the street, four (4) full lots must be skipped.
- ii) When building the same plan, different elevation, on the same side of the street, two (2) lots must be skipped.
- iii) When building the same plan, different elevation, on opposite sides of the street, one (1) full lot must be skipped.
- iv) An elevation that closely resembles that of a nearby home or in any way detracts from the overall street scene can be rejected.

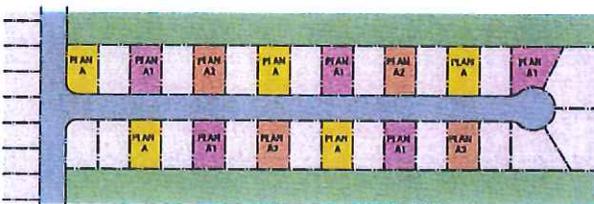
1. SAME PLAN, SAME ELEVATION, SAME OR OPPOSITE SIDE



2. SAME PLAN, DIFFERENT ELEVATION, SAME SIDE



3. SAME PLAN, DIFFERENT ELEVATION, OPPOSITE SIDE



3) Masonry Requirements

- a) All homes must be 100% masonry on the first floor (front, side and rear elevations)
- b) On two story homes, the masonry material must wrap a minimum of five (5) feet around the side of the home on the second story.

4) Materials

- a) Masonry Materials
 - i) Brick
 - (1) All brick must meet the standard specification established by the Brick Institute of America
 - ii) Stone
 - iii) Stucco
 - iv) Stucco Board
- b) Non Masonry materials
 - i) Hardie Siding
 - ii) Wood
 - (1) All wood must be painted, stained or treated.
 - iii) Metal
 - (1) Exposed metals must be anodized aluminum, bronze, copper or painted galvanized steel
 - iv) Prohibited Materials
 - (1) Shaker Shingles
 - (2) Reflective aluminum
 - (3) Vinyl siding
- c) Masonry Repetition
 - i) Same color brick, stone or stucco may not be used on homes immediately adjacent to or directly across the street from one another.
- d) Exterior Colors
 - i) No more than three (3) colors may be used per residence
 - ii) Pastel and Primary colors are prohibited unless used as accent colors on doors, shutters, etc.

5) Chimneys

- a) Chimneys must be constructed of materials in keeping with those used on the home.
- b) Chimneys may be wrapped in hardie plank and/or or masonry
- c) Metal caps are required on all chimneys
- d) Direct vents are permitted if not visible from the street and/or a public area.

6) Roofs

- a) Materials
 - i) Shingles
 - (1) All shingles must be thirty (30) year composition shingles
 - (2) Garages and/or breezeway roofs must be the same roofing material as the home
 - ii) Metal
 - (1) Cooper roofing and standing seam metal are permitted for accent areas (bay windows, porches, etc)
- b) Pitches
 - i) Roof pitch must be a minimum of 6:12
 - ii) Porches and/or dormers may have a roof pitch of 3:12 or greater
 - iii) Flat roofs are PROHIBITED

- c) Roof top Accessories
 - i) Antennas, towers, satellite dishes or similar devices for receiving and/or sending signals are permitted.
 - ii) Placement must be in the least obtrusive location of the rear yard, no higher than the highest point of the rear roof line of the residence and must not be visible from the street.

7) Garages

- a) Attached Garages
 - i) Front loaded garages
 - (1) Storage extensions may not exceed ten (10) feet in width beyond the side of the garage
 - ii) Three Car garages
 - (1) Three car tandem garages are permitted
 - (2) Three side by side garages are not permitted
- b) Detached garages
 - i) Detached garages are not permitted on greenbelt or lake lots
 - ii) On corner lots, detached garages must be located on the interior side of the lot, away from the street.
- c) Porte Cocheres
 - i) Must be the same architectural style of the home
- d) Garage doors
 - i) One (1) double door is permitted or two (2) single wide doors separated by a column

8) Signage

- a) Model Identification Sign
 - i) Each builder may have one (1) lighted sign per model home
- b) Lot identification sign
 - i) One sale sign is permitted for each lot

**FORT BEND PARKWAY PLANNED DEVELOPMENT
DEVELOPMENT SCHEDULE**

- A.** If Hurricane Lane is extended as projected, within 2-4 years, site development is expected to commence within the following districts and/or tracts:
- Commercial Northwest, Tract 2 (Lake Olympia Parkway at Fort Bend Parkway)
 - Single-family residential
- B.** Within 4-6 years, site development will continue within the three districts above and is expected to commence within the following additional districts and/or tracts:
- Commercial Northeast, Tracts 2 and 3 (Lake Olympia Parkway at Hurricane Lane)
 - Commercial Southeast (Hurricane Lane at Trammel-Fresno Road)
 - Business Park East (Hurricane Lane corridor)
- C.** Within 6 years, the single-family district should be built out.
- D.** Within 6-8 years, site development will continue within the districts above.
- E.** Within 8 years, the commercial districts should be mostly built-out.
- F.** Within 8-12 years, in-fill development will continue within the business park district.
- G.** The PD should be substantially developed within 12 years.

PUBLISHER'S AFFIDAVIT

THE STATE OF TEXAS

COUNTY OF FORT BEND

Before me, the undersigned authority, on this day personally appeared Seshadri Kumar who being by me duly sworn, deposes and says that he is the publisher of **Fort Bend Independent** and that said newspaper meets the requirements of Section 2051.044 of the Texas Government Code, to wit:

1. It devotes not less than twenty-five percent (25%) of its total column lineage to general interest items;
2. It is published at least once each week;
3. It is entered as second-class postal matter in the county where it is published; and
4. It has been published regularly and continuously since 2008.

Publisher further deposes and says that the attached notice was published in said newspaper to wit:

April 27, 2016

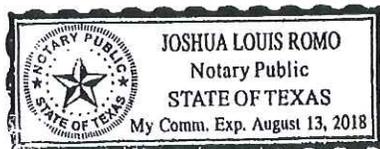
City of Missouri City Ord.16-12;16-13 and 16-14


Seshadri Kumar
Publisher

SUBSCRIBED AND SWORN BEFORE ME by Seshadri Kumar who

- (a) Is personally known to me, or
- (b) Provided the following evidence to establish his/ her identity,
- (c) On this the 6th day of May, 2016 to certify which witness my hand and seal of office.

Notary Public, State of Texas





FINANCE & INVESTMENT: Transferring your 401K

Over time, transferring your 401k has evolved from a multi-step process involving approvals from you, your company and the 401k provider, to as little as a phone call today.

In some cases, providers even offer you the ability to execute transfers online.

But while the ease of rolling over your 401k to an IRA has improved, determining when and where to move your money is just as complex as it ever was.

Obscure tax rules and high fees can dissuade an account owner from taking any action at all, which has led to the thousands of "orphan 401ks" that are sometimes forgotten by their owners.

Below, we tackle some of the advantages, disadvantages and "need-to-knows" of transferring your 401k.

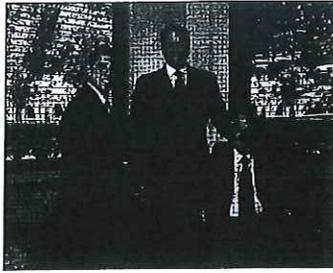
10-Percent Early Withdrawal Penalty Tax
If you are younger than 59 ½ and take a distribution from your IRA, you will likely be

subject to a 10-percent penalty tax on the total value of the withdrawal. This is in addition to the income tax you will owe.

401k accounts are subject to different rules. If you retire from your company at age 55 or older, you can take distributions directly from the 401k without incurring the penalty tax, even if you are younger than 59 ½.

This may not be a concern if you have significant assets outside of your 401k or IRA, but if the vast majority of your savings is in tax-qualified accounts, you may want to consider leaving your 401k where it is until you are 59 ½.

Company stock
Some companies allow you to purchase company stock within your 401k. When you retire, you may be able to distribute the stock directly from the 401k to an after-tax account through a unique tax rule called Net Unrealized Appreciation (NUA). The advantage of using



Brandon Arns, left, Jared Jameson, and Bill Jameson.

NUA is that you only pay income tax on the basis of the stock (or what you paid for it).

If you bought the stock at a very low price, the tax you pay may be low relative to the size of the total distribution.

Once the stock is distributed, you can either hold it, in which case you will pay no additional tax, or you can sell it and pay capital gains taxes

investment choices, with a few having more than 40 and some with as little as 10. In comparison, large brokerage firms such as Charles Schwab and TD Ameritrade offer thousands of investments options, including many strategies and assets classes that are rarely found in 401ks.

Required Minimum Distributions

At age 70 ½, the IRS requires you to begin taking distributions from your IRA each year. This is called the Required Minimum Distribution (RMD).

To calculate your RMD, take the value of your IRAs and 401ks as of December 31 of the previous year and divide by a factor provided by the IRS (which is determined based on your life expectancy).

The lone exception to this is you may delay distributions from a current 401k if you are working at age 70 ½ or older. However, you must take distributions from your IRAs, even if you are working.

Fees
The types of fees charged in your 401k vary from those in an IRA, but that does not necessarily mean they are higher or lower.

For example, a 401k may charge an account maintenance fee, but have lower mutual fund expenses than many of the funds available in an IRA. An IRA may charge transaction fees for trading, while a 401k may limit how often you can trade. Fees are best evaluated on a case-by-case basis.

There are many nuances and details that should be considered when evaluating whether to keep your 401k or roll it into an IRA.

It is important to make a choice based on your financial situation and ability to control your investments. Contact your local fee-only financial advisor to determine what the best options are for you.

WJ Interests, LLC has provided fee-only financial advice to individuals, families and businesses since 1996. For more information, please contact us at wj@wjinterests.com or 281-634-9400.

NOTICE OF SALE

STATE OF TEXAS § BY VIRTUE OF AN ORDER OF SALE
FORT BEND COUNTY §

and issued pursuant to judgment decree(s) of the District Court of Fort Bend County, Texas, by the Clerk of said Court on said date, in the hereinfor numbered and styled suit(s) and to me directed and delivered as Sheriff or Constable of said County, I have on March 24, 2016, seized, levied upon, and will, on the first Tuesday in May, 2016, the same being the 3rd day of said month, at 3011 Jackson Street, William Travis Building, 1st Floor Meeting Room in the City of Richmond, Texas 77469, between the hours of 10 o'clock a.m. and 4 o'clock p.m. on said day, beginning at 10:00 AM, proceed to sell for cash to the highest bidder all the right, title, and interest of the defendants in such suit(s) in and to the following described real estate levied upon as the property of said defendants, the same lying and being situated in the County of Fort Bend and the State of Texas, to-wit:

Sale #	Case # Judgment Date	Acct # Order Issue Date	Style of Case	Legal Description	Adjudged Value	Estimated Minimum Bid
1	13-DCV-204529 09/10/13	31500007010590 7 MARCH 21, 2016	FORT BEND COUNTY VS. IDA MARIE GARZA GARZA PEREZ, ET AL	0.435 ACRES, MORE OR LESS, BLK 7, TOWN OF FRESNO, VOL. 2, PG 3 & CLERKS FILE# 2004052499*	\$81,340.00	\$6,000.00
2	13-DCV-211420 01/12/16	00940000332090 6	NEEDVILLE INDEPENDENT SCHOOL DISTRICT VS. ERIC GABRIEL DICESARE, ET AL	7.6174 ACRES, MORE OR LESS, BARNABAS WICKSON SURV, ABST 59, CLERK'S FILE# 2006054490	\$258,890.00	\$39,000.00
3	14-DCV-215001 12/15/15	0037003100000990 8 MARCH 21, 2016	FORT BEND COUNTY VS. AUGUSTINE DELGADO, AKA AUGUSTINE JOE DELGADO, ET AL	UNDIVIDED 50 OF AN ACRE INTEREST IN & TO 2.432 ACRES, MORE OR LESS, JOHN MCCORMICK SURV, ABST 57, VOL 763, PG 45*	\$56,230.00	\$28,000.00
4	14-DCV-215001 12/15/15	0037003100000190 8 MARCH 21, 2016	FORT BEND COUNTY VS. AUGUSTINE DELGADO, AKA AUGUSTINE JOE DELGADO, ET AL	UNDIVIDED 1.9300 ACRE INTEREST IN & TO 2.432 ACRES, MORE OR LESS, JOHN MCCORMICK SURV, ABST 57, VOL 763, PG 45*	\$74,400.00	\$37,000.00
6	14-DCV-218621 01/12/16	34503001020090 7 MARCH 21, 2016	FORT BEND COUNTY VS. ROY GARZA, AKA ROY S GARZA	LT 2, BLK 1, GATEWAY ACRES, SEC 3, VOL. 5, PG 1*	\$18,110.00	\$4,000.00
7	15-DCV-223934 01/12/16	0051060000004190 8 MARCH 21, 2016	FORT BEND COUNTY VS. RICHARD EDWARD BATTLE, AS TRUSTEE OF THE RICHARD AND BELINDA BATTLE REVOCABLE TRUST, ET AL	LT 3, BLK 4, EAST SIDE ADDN, TOWN OF KENDLETON, VOL. 118, PG 47*	\$134,540.00	\$7,500.00

(any volume and page references, unless otherwise indicated, being to the Deed Records, Fort Bend County, Texas, to which instruments reference may be made for a more complete description of each respective tract.) or, upon the written request of said defendants or their attorney, a sufficient portion of the property described above shall be sold to satisfy said judgment(s), interest, penalties, and cost; and any property sold shall be subject to the right of redemption of the defendants or any person having an interest therein, to redeem on the said property, or their interest therein, within the time and in the manner provided by law, and shall be subject to any other and further rights to which the defendants or anyone interested therein may be entitled, under the provisions of law. Said sale to be made by me to satisfy the judgment(s) rendered in the above styled and numbered cause(s), together with interest, penalties, and costs of suit, and the proceeds of said sales to be applied to the satisfaction thereof, and the remainder, if any, to be applied as the law directs.

RECENT CHANGES IN THE PROPERTY TAX CODE NOW REQUIRE PURCHASERS OF TAX SALE PROPERTY TO HAVE A STATEMENT FROM THE FORT BEND COUNTY TAX ASSESSOR-COLLECTOR CERTIFYING THAT THE PERSON/FIRM/COMPANY PURCHASING PROPERTY AT A TAX SALE OWES NO DELINQUENT PROPERTY TAXES TO ANY TAXING ENTITY WITHIN THE COUNTY. YOU WILL NOT RECEIVE A TAX SALE DEED TO ANY PROPERTY YOU PURCHASE WITHOUT THIS CERTIFICATE.

TO OBTAIN A CERTIFICATE, PLEASE CONTACT YOUR FORT BEND COUNTY TAX ASSESSOR-COLLECTOR AT LEAST TWO WEEKS PRIOR TO THE SALE.

Dated at Richmond, Texas, March 24, 2016

Constable R. L. Ramirez
Fort Bend County, Texas

By Deputy

Notes:

The Minimum Bid is the lesser of the amount awarded in the judgment plus interest and costs or the adjudged value. However, the Minimum Bid for a person owning an interest in the property or for a person who is a party to the suit (other than a taxing unit), is the aggregate amount of the judgments against the property plus all costs of suit and sale. ALL SALES SUBJECT TO CANCELLATION WITHOUT PRIOR NOTICE. THERE MAY BE ADDITIONAL TAXES DUE ON THE PROPERTY WHICH HAVE BEEN ASSESSED SINCE THE DATE OF THE JUDGMENT. For more information, contact your attorney or LINEBARGER GOGGAN BLAIR & SAMPSON, LLP, attorney for plaintiffs, at (713) 844-3576

The 65th Annual National Day of Prayer is May 5, 2016

WAKE UP AMERICA

Our Nation's Healing will Come from the Lord as a Result of Prayer!

Fort Bend County National Day of Prayer Locations

Mixson City City Hall	10:00 AM
Starron Beauty Lake Pavilion	10:00 AM
Widdow Place City Hall	10:00 AM
Starron Land/Town Square	10:00 AM
Starron City Hall	12:00 PM
Widdow City Hall	7:00 PM
Starron City Hall	7:00 PM
Starron City Hall	7:00 PM
Widdow City Hall	7:00 PM
Widdow City Hall	7:00 PM

For more information, visit <http://www.ndp.org>

City of Missouri City
MISSOURI CITY TEXAS
ORDINANCE NO. 0-16-14

AN ORDINANCE OF THE CITY OF MISSOURI CITY, TEXAS, AMENDING REGULATIONS IN PD PLANNED DEVELOPMENT DISTRICT NO. 115 REGULATING AND RESTRICTING THE DEVELOPMENT AND USE OF PROPERTY WITHIN SUCH PD PLANNED DEVELOPMENT DISTRICT; AMENDING THE ZONING DISTRICT MAP OF THE CITY OF MISSOURI CITY PROVIDING FOR AN AMENDMENT TO THE COMPREHENSIVE PLAN; PROVIDING FOR REFERRAL; PROVIDING A PENALTY; PROVIDING FOR SEVERABILITY; AND CONTAINING OTHER PROVISIONS RELATING TO THE SUBJECT.

I, Maria Jackson, City Secretary of the City of Missouri City, do hereby certify that the foregoing is a true and correct copy of the caption of said Ordinance No. 0-16-14 approved on second and final reading by the City Council at its regular meeting held on April 18, 2016, as the same appears in the records of my office.

/s/ Maria Jackson
City Secretary

City of Missouri City
MISSOURI CITY TEXAS
ORDINANCE NO. 0-16-13

AN ORDINANCE OF THE CITY OF MISSOURI CITY, TEXAS, AMENDING REGULATIONS IN PD PLANNED DEVELOPMENT DISTRICT NO. 84; REGULATING AND RESTRICTING THE DEVELOPMENT AND USE OF PROPERTY WITHIN SUCH PD PLANNED DEVELOPMENT DISTRICT; AMENDING THE ZONING DISTRICT MAP OF THE CITY OF MISSOURI CITY PROVIDING FOR AN AMENDMENT TO THE COMPREHENSIVE PLAN; PROVIDING FOR REFERRAL; PROVIDING A PENALTY; PROVIDING FOR SEVERABILITY; AND CONTAINING OTHER PROVISIONS RELATING TO THE SUBJECT.

I, Maria Jackson, City Secretary of the City of Missouri City, do hereby certify that the foregoing is a true and correct copy of the caption of said Ordinance No. 0-16-13 approved on second and final reading by the City Council at its regular meeting held on April 18, 2016, as the same appears in the records of my office.

/s/ Maria Jackson
City Secretary

City of Missouri City
MISSOURI CITY TEXAS
ORDINANCE NO. 0-16-12

AN ORDINANCE OF THE CITY OF MISSOURI CITY, TEXAS, CHANGING THE ZONING CLASSIFICATION OF 1.48 ACRES OF LAND FROM LC-1 LOCAL RETAIL DISTRICT TO PD PLANNED DEVELOPMENT DISTRICT NO. 100; DESCRIBING SAID 1.48 ACRES OF LAND; REGULATING AND RESTRICTING THE DEVELOPMENT AND USE OF PROPERTY WITHIN SUCH PD PLANNED DEVELOPMENT DISTRICT; AMENDING THE ZONING DISTRICT MAP OF THE CITY OF MISSOURI CITY PROVIDING FOR AN AMENDMENT TO THE COMPREHENSIVE PLAN; PROVIDING FOR REFERRAL; PROVIDING A PENALTY; PROVIDING FOR SEVERABILITY; AND CONTAINING OTHER PROVISIONS RELATING TO THE SUBJECT.

I, Maria Jackson, City Secretary of the City of Missouri City, do hereby certify that the foregoing is a true and correct copy of the caption of said Ordinance No. 0-16-12 approved on second and final reading by the City Council at its regular meeting held on April 18, 2016, as the same appears in the records of my office.

/s/ Maria Jackson
City Secretary



**NOTICE OF PUBLIC HEARING
TO ADJOINING PROPERTY OWNERS
WITHIN 200 FEET OF PROPERTY SUBJECT TO REZONING**

DATE OF NOTICE: July 27, 2018

LOCATION/DATE: The Planning and Zoning Commission of the City of Missouri City will hold a public hearing on Wednesday, August 8, 2018, at the City Council Chambers – 2nd Floor, City Hall Building, 1522 Texas Parkway (FM-2234), Missouri City, Texas at 7:00 p.m.

PURPOSE: To receive comments for or against a request by Stan Winter, Jones | Carter, to amend the regulations and restrictions of PD, Planned Development District No. 88 pertaining to fence regulations for the Dry Creek Village residential subdivision; and to the extent such rezoning deviates from the Future Land Use and Character map of the Comprehensive Plan, to provide for an amendment therefrom.

SITE LOCATION: PD No. 88 is located east and west of the Fort Bend Parkway, north of FBISD Hightower High School and Trammel Fresno Road; east of the Olympia Estates and Vicksburg residential subdivisions. The Dry Creek Village residential subdivision is located within PD No. 88, south of Lake Olympia Parkway, east of the Olympia Estates and Vicksburg residential subdivision, west of the Fort Bend Parkway.

SITE LEGAL DESCRIPTION: PD No. 88 is described to include the following tracts:

Tract 1 being described as a 152.586 acre tract of land situated in the Elijah Roark League Survey, A-77, Fort Bend County, Texas same being Tract 11A of Olympia Estates as recorded in Slide Number 2331 A & B of the Fort Bend County Plat Records.

Tract 2 being described as a 116.302 acre tract of land being out of the remainder of that certain 263.13 acre tract of land and out of the remainder of that certain 80 acre tract of land, conveyed to Hermann Health Care System, Inc. by deed recorded under Clerk's File No. 9774265, of the Fort Bend County Deed Records.

Tract 3 being described as being a 88.1380 acre tract being out of the remainder of that certain 100 acre tract of land, conveyed to Hermann Health Care System, Inc. by a deed recorded under Clerk's File No. 9774265, of the Fort Bend County Deed Records.

Tract 4 being described as being a 37.429 acre tract located in the Elijah Roark League, A-77, in Fort Bend County and recorded in the name of Point Center Financial, Inc. in F.B.C.C.F. No. 2009050702.

Tract 5 being described as being a 38.4163 acre tract of land being part of the remainder of an 80 acre tract, conveyed to Hermann Health Care System, Inc. by a deed recorded under Clerk's File No. 9774265, of the Fort Bend County Deed Records lying in the Elijah Roark League Survey, A-77 in Fort Bend County, Texas.



DEVELOPMENT SERVICES - PLANNING DIVISION

1522 TEXAS PARKWAY

MISSOURI CITY, TEXAS 77489

The **Dry Creek Village residential subdivision** is contained within the above described tracts and is further described as being 46.60 acres of land filed and recorded as Dry Creek Village Section One under instrument number 20180086 in the Official Public Records of Fort Bend County Texas.

FOR MORE INFORMATION: Additional information and a map of the subject site are available for review at City Hall, Missouri City, Texas on Monday through Friday from 8:00 a.m. to 4:00 p.m. You may call 281-403-8600 or email the Development Services Department-Planning Division at planning@missouricitytx.gov for further information.



Dry Creek Village

OLYMPIA ESTATES

PD, Planned Development District #88

VICKSBURG

Legend

-  City Limits Line.lyr
-  PD #88

1 inch = 1,000 feet

500 1,000 2,000 Feet